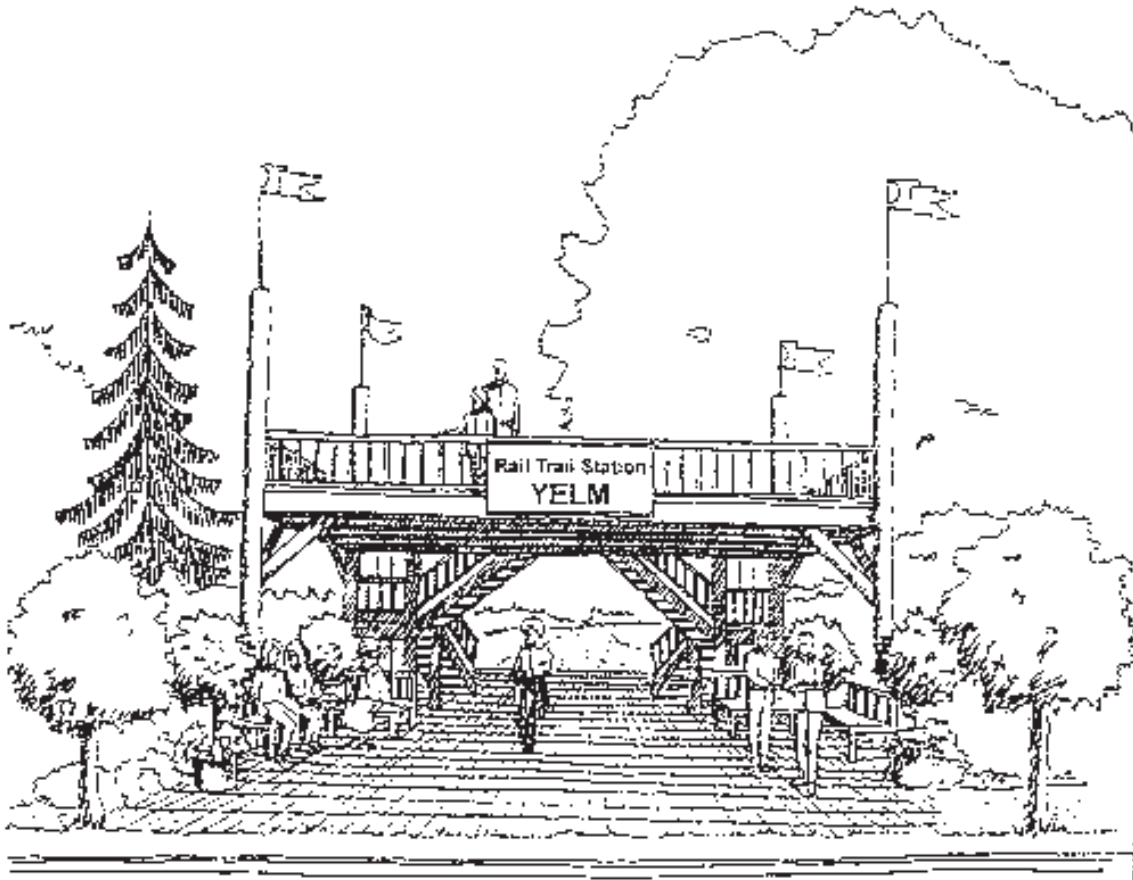


APPENDIX 8: CHAPTER 8 APPENDICES

8A: Design Guidelines



CITY OF YELM



Design Guidelines

Table of Contents

Table of Contents	i
Organization of Guidelines	iii
Application of Design Guidelines	iv
I. Site Planning	1
A. Relationship to Street Front	1
B. Side and Rear Yards Compatibility	9
C. Multiple Building and Large Lot Developments	10
D. Siting Service Areas	13
E. Biofiltration Swales	15
F. Street Corners	19
II. Pedestrian Access	20
A. General Pedestrian Access Requirements	20
B. On-Site Pedestrian Circulation	22
C. Sidewalk Widths	24
D. Pedestrian Paths to Adjacent Uses and Transit Facilities	26
E. Pedestrian Areas at Building Entries	28
F. Pedestrian Activity Areas and Plazas	30
III. Vehicular Access and Parking	32
A. Access Roads	32
B. Vehicle Entrances and Driveways	33
C. Parking Lot Location and Design	34
D. Incentives to Reduce Number of Surface Parking Stalls	36
IV. Building Design	39
A. Human Scale	39
B. Architectural Scale	41
C. Building Corners	46
D. Building Details	48
E. Materials and Color	50
F. Blank Walls	55

G. Mechanical Equipment and Service Areas	56
V. Landscaping and Design	57
A. Purpose	57
B. Landscaping – Types and Description.....	57
C. Plant Material Standards	65
D. Irrigation System.....	66
E. Maintenance and Enforcement.....	66
F. Approved Plant List	66
G. Landscape Concept.....	68
H. Site Landscaping	69
I. Parking Lot Landscaping	72
J. Retention of Significant Trees.....	75
Appendix A – Definitions:	76

Organization of Guidelines

This document categorizes the guideline topics into several sections, each dealing with one of the following design issues:

- 1) Site Planning – The location, orientation and relationships of buildings, parking lots and other features.
- 2) Pedestrian Access – Pedestrian circulation, safety and comfort.
- 3) Vehicular Access and Parking – Location and size of driveways, access roads and parking lot.
- 4) Building Design – Design elements and character of built structures.
- 5) Site Design and Landscaping – Character and qualities of request landscaping, open space and other site features.

The first three sections deal with issues of size, placement, and orientation, while the last two address design quality and character.

Many of the guidelines do set requirements and standards, which must be met. They have been formulated to place the minimum burden on projects in several ways. First, they often allow for a variety of options to fulfill a requirement. Second, many of the standards or requirements do not add costly features or require expensive construction. Third, many guidelines only apply if the element in question is in proximity to and/or visible from the street or a park. Fourth, some guidelines only apply to conditions where they are most beneficial. Fifth, some guidelines offer incentives such as reduced parking or greater development capability. Most importantly, the guidelines do not inhibit creative design. In most cases, the project's architect or landscape architect may suggest an alternative to meet the intent of the guideline.

The Downtown Design Guidelines Checklist will be used to note which of the guidelines apply to the proposed project. The Site Plan Review Committee will review which regulations apply during or shortly after the pre-application meeting in order to assist the applicant and to facilitate final approval. During project review, the staff person will check in the second column those regulations that have been satisfied.

Application of Design Guidelines

The Design Guidelines apply to Yelm's commercial zones. To apply guidelines more specifically to the conditions where they are most appropriate, Yelm's downtown commercial zones have been divided into design districts. Only certain guidelines apply to a specific district. The applicability section in each guideline identifies in which district(s) the guideline applies.

For exterior remodels, it is only required that the proposed improvements meet the guidelines and do not lead to further nonconformance with the guidelines. For example, if a property owner decides to replace a window, then the window shall meet the guideline standards, but new pedestrian coverings are not required. The guidelines do not apply to remodels that do not change the exterior appearance of the building.

The guidelines are intended to supplement the design standards in the City of Yelm zoning ordinance. Guidelines include provisions, requirements or considerations that are in addition to the zoning ordinance standards.

DESIGN GUIDELINES Project Review Checklist		Guidelines Applicable	Guidelines Met
I.A.(1)	Relate development to pedestrian oriented street frontage.		
I.A.(2)	Relate development to street fronts (other than pedestrian oriented streets).		
I.B.(1)	Minimize visibility and impacts of service areas.		
I.C.(1)	Take advantage of special opportunities and mitigate impacts of large developments.		
I.D.(1)	Reduce impact of service areas and mechanical equipment.		
I.E.(1)	Integrate biofiltration swales and ponds into the overall site design.		
I.F.(1)	Enhance the visual quality of development on corners.		
I.F.(2)	Provide a paved pedestrian walkway from the street corner to the building entrance.		
II.A.(1)	All pedestrian paths must correspond with federal, state and local codes for handicapped access, and the Americans with Disabilities Act.		
II.A.(2)	Provide adequate lighting at the building entries and all walkways and paths through parking lots.		
II.A.(3)	Develop an on-site pedestrian circulation concept.		
II.B.(1)	Provide a pedestrian path at least 60" wide (preferably 96" wide) from the street sidewalk to the main entry.		
II.B.(2)	Provide pedestrian paths or walkways connecting all businesses and the entries of multiple buildings on the same development site.		
II.B.(3)	Provide parking through parking lots.		
II.C.(1)	Where street Right-Of-Way is insufficient to provide adequate sidewalks, buildings and other site features must be set back from the public Right-Of-Way to achieve at least minimum sidewalk widths.		
II.C.(2)	Where new streets are developed, provide sidewalks according to minimum standards.		
II.D.(1)	Provide, where feasible, pedestrian circulation routes to adjacent uses and transit.		
II.D.(2)	Integrate nearby transit stops into the planning of adjacent site improvements.		
II.D.(3)	Encourage pedestrian paths from all transit stops through commercial areas to residential areas within 1200 feet.		
II.E.(1)	Enhance building entry access.		
II.F.(1)	Provide pedestrian oriented open space at key locations.		
III.A.(1)	Provide access roads through large lots with more than one street frontage.		
III.B.(1)	Minimize driveway impacts.		
III.C.(1)	Meet requirements for location of parking lots on pedestrian oriented streets.		

DESIGN GUIDELINES Project Review Checklist		Guidelines Applicable	Guidelines Met
III.C.(2)	Meet requirements for parking lot design detail standards.		
III.D.(1)	Minimize parking areas through joint use and management.		
III.D.(2)	Encourage structured parking.		
III.D.(3)	Reduce impacts of parking garages.		
IV.A.(1)	Incorporate human-scale building elements.		
IV.B.(1)	Reduce scale of large buildings.		
IV.C.(1)	Architecturally accentuate building corners at street intersections.		
IV.D.(1)	Enhance buildings with appropriate details.		
IV.E.(1)	Retain original facades.		
IV.E.(2)	Use compatible building materials. (See Building Material Summary Matrix, pg. 59.)		
IV.F.(1)	Treat blank walls that are visible from the street, parking or adjacent lot(s).		
IV.G.(1)	Locate and/or screen roof-mounted mechanical equipment so as not to be visible from the street or from the ground level of adjacent properties.		
IV.G.(2)	Where practical, locate and/or screen utility meters, electrical conduit and other service and utilities apparatus so as not to be visible from the street.		
V.F.(1)	Use plant materials that are approved for use in downtown Yelm. Proponents may use other plant materials approved by the City.		
V.G.(1)	Develop a site landscape design concept.		
V.H.(1)	Provide substantial site landscaping.		
V.H.(2)	Protect and enhance natural features.		
V.I.(1)	Screen all parking lots as required by Chapter 17.80, Landscaping.		
V.I.(2)	An alternative to the required perimeter parking area landscaping plan may be submitted.		
V.I.(3)	Provide internal parking lot landscaping.		
V.J.(1)	Consider alternative building and parking siting strategies to preserve existing trees.		
V.J.(2)	Consider the integration of pedestrian and bicycle paths with stands of mature trees where feasible to connect adjacent uses.		

I. Site Planning

A. Relationship to Street Front

INTENT:

- Create an active safe pedestrian environment.
- Upgrade the downtown and visual identity.
- Unify streetscapes.
- Improve pedestrian/auto circulation.

GUIDELINES:

I.A.(1) Relate development to pedestrian oriented street frontage.

Applicability:	Checked boxes indicate the districts that this guideline applies to.					
✓ Old T.	✓ Village R.	Auto-O.	Gateway	Indust.	Mixed Use	

All development for properties fronting on a “Pedestrian Oriented Street” as listed in definitions, shall include site planning measures to define the street edge, encourage pedestrian access and provide amenities and support downtown design objectives stated in the downtown goals and policies.

Accordingly, the development must comply with A and B below.

- a) Adhere to the following standards unless the City determines that they prevent viable site development.
 - Buildings must present a “pedestrian oriented façade” (see definitions to the street using one or more of the four following methods:
 - Transparent window area or window displays along at least 50% of the length of the ground floor façade.
 - Sculptural, mosaic or bas relief artwork over 50% of the length of the ground floor façade.
 - “*Pedestrian oriented space*,” as defined in the Definitions and Section II.G, located adjacent to the sidewalk. At least 500 SF of pedestrian oriented space must be provided for every 100 linear feet of façade as measured along the property lines adjacent to the street Right-Of-Way.
 - Other special landscaping or building design feature approved by the City.

- Building entries must have direct access to the public sidewalk (entries may be on the side of buildings but they must be visible from the street and connected by a pedestrian pathway).
- No more than 50% of the street frontage measured parallel to the curb may be occupied by parking and/or vehicle access (driveways). (See Guideline III.C.(1).)
- Small display areas are subject to Chapter 17.26.040, Special Uses.
- For properties fronting on two or more pedestrian oriented streets, parking may be located on one of the streets provided that a building or pedestrian oriented space is situated between the parking and the street corner. See Figure I.A.(1) b.

The following diagrams in Figure I.A.(1) a illustrate examples of acceptable site configurations.

Figure I.A.(1) a
Acceptable configurations for development on pedestrian oriented streets

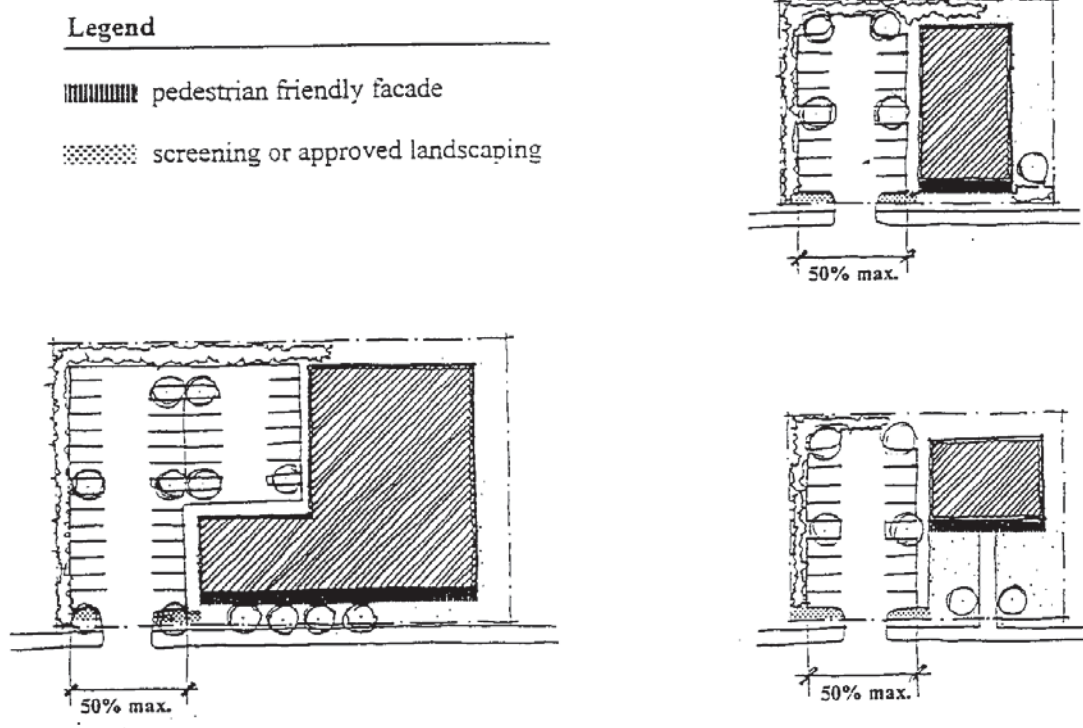


Figure I.A.(1) b
Development on corner of two pedestrian oriented streets

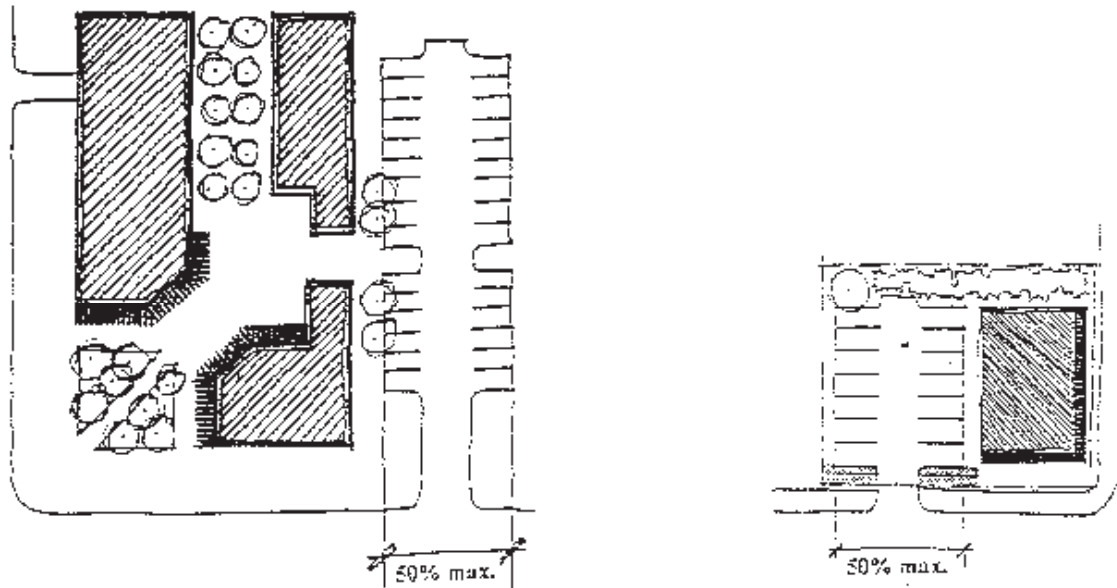
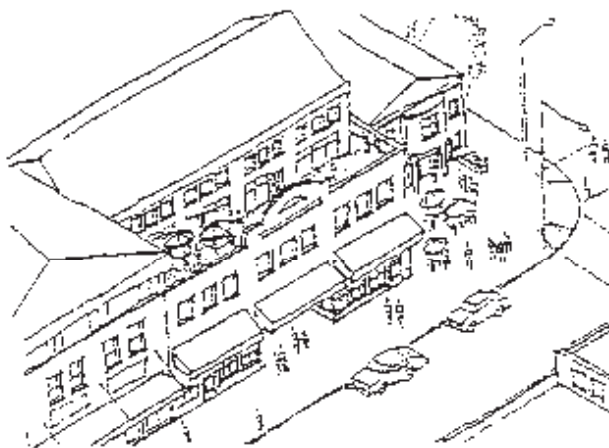


Figure I.A.(1) c
Characteristics desired for buildings
on pedestrian oriented streets



Pedestrian cover.
Buildings front street.
Entries face street.

Multistory buildings
with active uses
above

Space for outdoor
activities

Pedestrian oriented
uses on ground floor

Window displays

- b) Provide at least two of the following pedestrian amenities near the sidewalk.
- Pedestrian furniture, such as seating, lighting, drinking fountain, etc.
 - Pedestrian weather protection.
 - All buildings located along designated streets in the Old Town, Mixed Use and Village Retail are encouraged to provide pedestrian weather protection at least 3' wide along at least 80% of the building's street front face. The weather protection may be in the form of awnings, marquees, canopies or building overhangs.
 - Canopies or awnings should not extend above 15' above the ground elevation at the highest point nor lower than 8' at the lowest point.
 - Coverings with visible corrugated metal or corrugated fiberglass are not permitted (see Section IV.E. Materials). Fabric and rigid metal awnings are acceptable. All lettering and graphics on pedestrian coverings must conform to the City of Yelm's Sign Code.
 - Pedestrian oriented open space. (See Definitions.)
 - Substantial perimeter landscaping (or lawn if configured in a "front yard" setting between building front and the sidewalk).
 - Artwork.
 - Space for transit stop with seating.
 - Window displays over the majority of the front façade.
 - Decorative screen wall, trellis, or other building or site feature.
 - Pedestrian lighting.
 - Other element that encourages pedestrian activities, as approved by the City.

All site configurations and elements shall be as approved by the City.

I.A.(2) Relate development to street fronts (other than pedestrian oriented streets).

<p>Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust.* ✓ Mixed Use * Applies to industrial zoned property across the street from residentially zoned properties</p>

All development for properties not on pedestrian oriented streets shall include site planning measures to create an attractive street edge, accommodate pedestrian access, and support downtown design objectives stated in the Yelm Vision Plan, Downtown Goals and Policies. Accordingly, the development must conform to provisions “a” through “f” below, or Guideline I.A.(1).

- a) Define the street edge with building landscaping or other feature.
- b) Provide direct access to building fronts from the sidewalk. Preferably these access ways should be separate from the parking lot. If access traverses the parking lot, then it should be specially marked. (See Guidelines under II.B.)
- c) If parking is adjacent to street frontage, provide substantial landscaping, as provided for in Chapter 17.80, that includes a sight obscuring evergreen hedge, existing vegetation, trees approved to screen walls, and/or other treatment. The landscaping of other treatment must be sufficient, in the City’s opinion, to spatially define the street edge and create a distinctive perimeter along the street front (see Figure V.H.(1) a). Views of building in the site are acceptable and may be accentuated by special treatment (see Section V.I. Parking Lot Landscaping).
- d) Parking reductions, or joint use parking may be achieved in accordance with Chapter 17.72, Off-Street Parking and Loading.
- e) For businesses that require outdoor display oriented to the street, such as nurseries and auto sales, the street edge shall be defined as required in Section V.H.
- f) Provide sufficient room for a sidewalk (or sidewalk and planter strip) at least 8’ wide if there is not space in the public right-of-way.

The diagrams in Figure I.A.(2) a illustrate examples of acceptable lot configurations.

Note: Sections V.B., V.H., and V.I. describe approved landscaping schemes for required screening and buffering along street frontages. Figures I.A.(2) b and c illustrate the desired street-front characteristics of new development in the Auto-Oriented and Gateway Districts. Figures b and c are examples only and do not necessarily relate to specific sites.

Figure I.A.(2) a
Acceptable configurations for development on streets other than pedestrian oriented streets

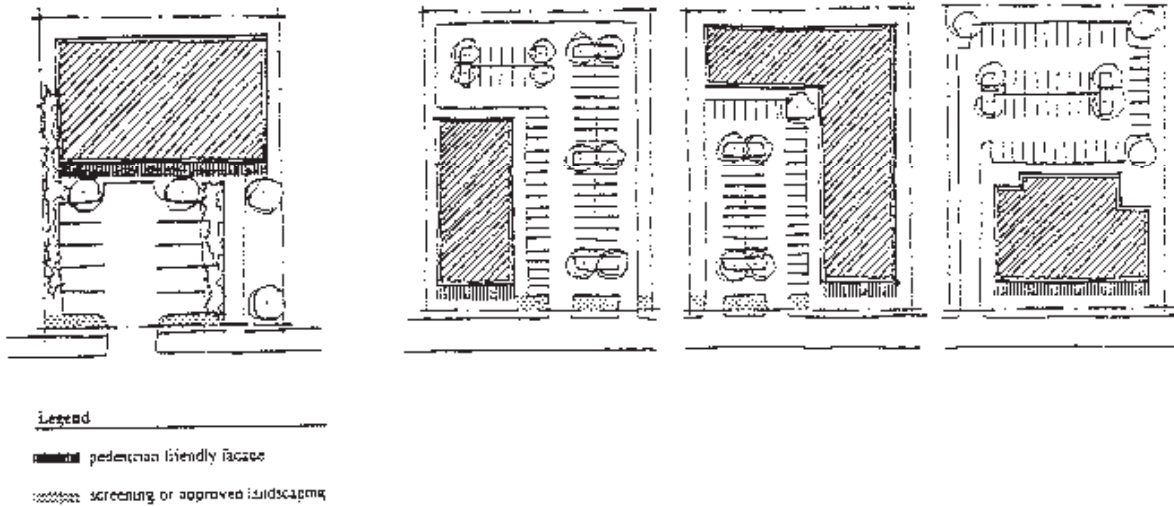
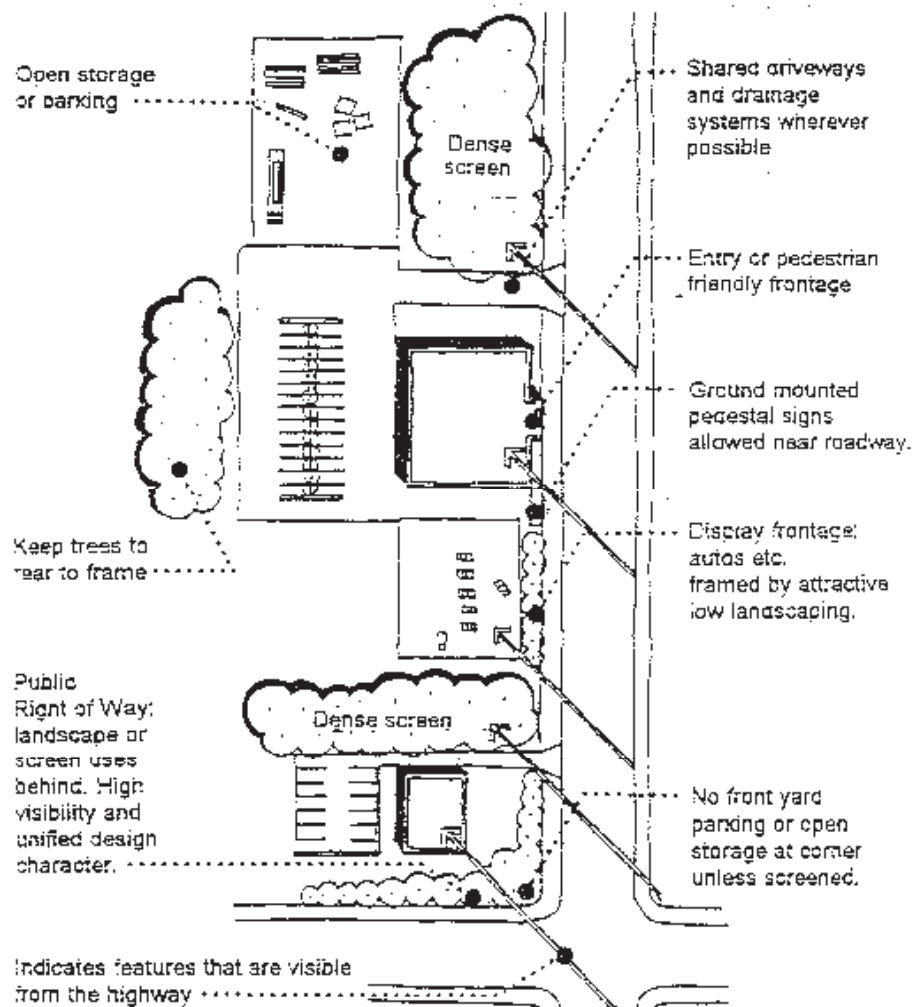
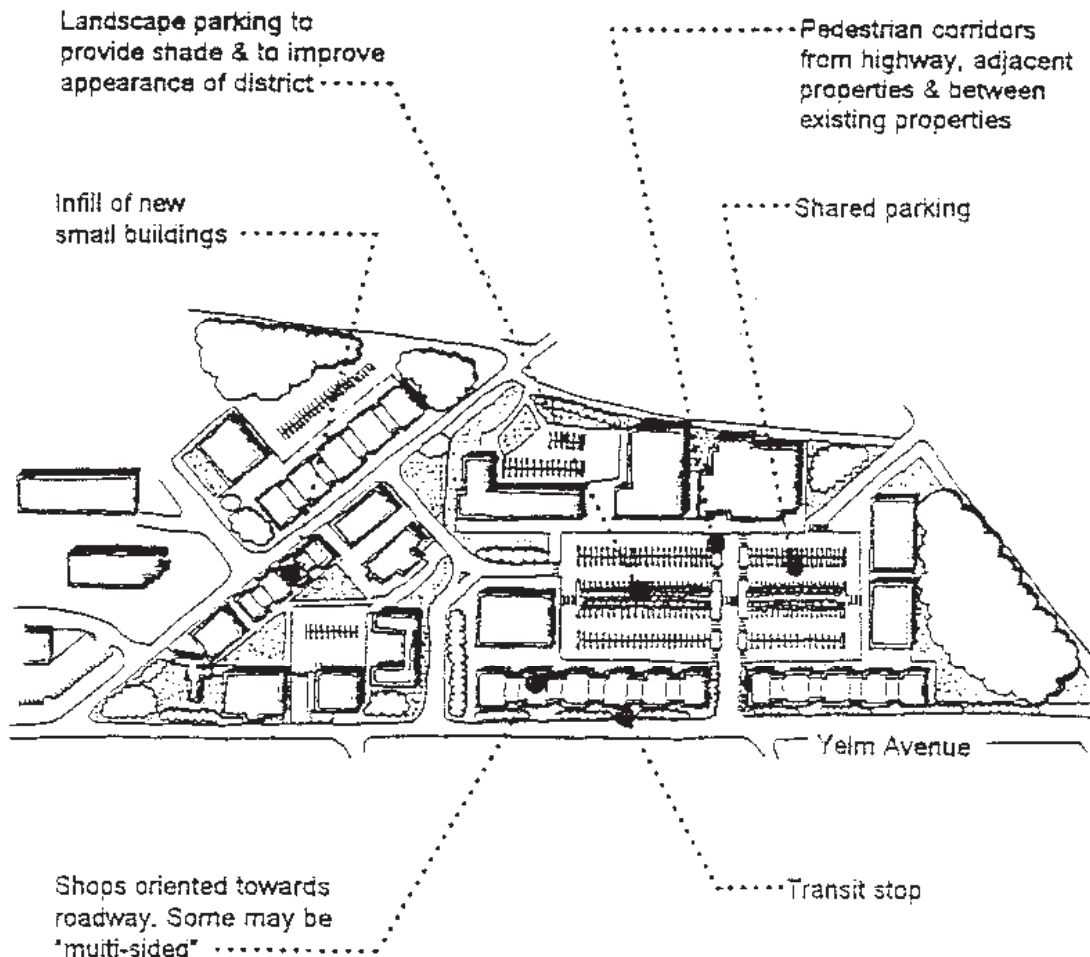


Figure I.A.(2) b
Example of desirable street-front configurations
in the Gateway District



Because these are the entry points into town, development in the Gateway areas should ideally be a transition from a rural, agricultural setting to a built street front. Therefore, a mix of dense naturalistic vegetation to screen unsightly storage/work areas and open landscaping to frame views of buildings and display areas is encouraged.

Figure I.A.(2) c
Example of desirable street-front configurations
in the Auto-Oriented and Mixed-Use Districts



While the primary emphasis is on auto access, maintaining an attractive, pedestrian-friendly, human-scaled street frontage will provide greater long-term viability, infill opportunity, and integration to the rest of the town.

B. Side and Rear Yards Compatibility

INTENT:

- To promote the functional and visual compatibility between adjacent properties.

GUIDELINES:

I.B.(1) Minimize visibility and impacts of service areas.

Applicability: Checked boxes indicate the districts that this guideline applies to.

✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust.* ✓ Mixed Use

* Applies to industrial zoned property adjacent to residentially zoned property

Locate service areas, outdoor storage areas and other intrusive site features away from neighboring properties to reduce conflicts with adjacent uses. Conflicting uses include: outdoor storage areas adjacent to any other use, service areas adjacent to any other use, commercial development adjacent to a residentially zoned property.

- a) Refuse container screening shall be required and be of a material and design compatible with the overall architectural theme of the associated structure, shall be at least as high as the refuse container, and shall in no case be less than six feet high.
- b) No refuse container shall be permitted between a street and the front of a building.
- c) Refuse collection areas shall be designed to contain all refuse generated on site and deposited between collections. Deposited refuse shall not be visible from outside the refuse enclosure.

C. Multiple Building and Large Lot Developments

INTENT:

- To reduce the negative impacts to adjacent properties.
- To increase pedestrian and vehicular circulation in the downtown area.
- To upgrade the overall visual quality in downtown Yelm, maintain its human and architectural scale.
- To produce a consistent design identity compatible with the rest of downtown area.
- To take advantage of special opportunities to create a composition of buildings and landscape features.
- To create a focal point of the downtown area.

GUIDELINES:

I.C.(1) Take advantage of special opportunities and mitigate impacts of large developments.

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

The site planning for all developments over 5 acres must feature a demonstrable unifying organization that accomplishes the following goals:

- a) Mitigate transportation impacts and conform to the City's objectives for better traffic circulation by connecting through streets and public transportation. (See Guideline III.A.(1).)
- b) Provide convenient pedestrian circulation connecting all on-site activities to adjacent pedestrian routes and street Right-Of-Ways. (See Guidelines II.A.(1), II.B.(1), II.C.(1), II.D.(1), and II.F.(1).)
- c) Encourage buildings to complement adjacent activities and visual character and create comfortable human environments. (See Guidelines IV.A.(1), IV.B.(1), and IV.C.(1).)
- d) Incorporate open space and landscaping as a unifying element. (See Guideline V.G.(1).)
- e) Where possible, incorporate screening, environmental mitigation, utilities and drainage as positive elements (e.g.: create a "natural" open space or wet pond as a site feature to accommodate surface water runoff, explore opportunities to create park-like features).

While the referenced guidelines apply to smaller lots as well, the intent of this

guideline is to encourage project designers to coordinate guideline requirements into innovative organizational schemes such as a “village green,” “small town grid,” “pedestrian square,” “perimeter walk,” etc. that integrate the new development into the downtown’s existing structure and create a pedestrian oriented focus.

See Figures I.C.(1) a and I.C.(1) b for examples.

Figure I.C.(1) a
Example of a large lot development oriented around public open space

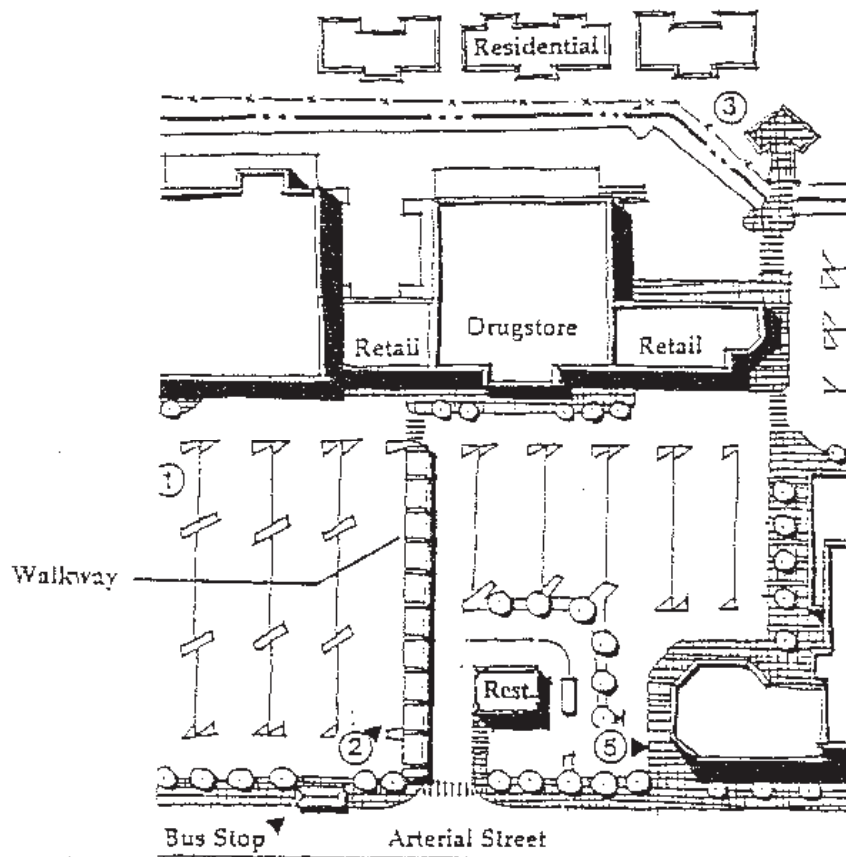


Figure I.C.(1) b

Example of a large lot development that furthers objectives in Guideline I.C.(1)

Transit-Comfortable Features:

1. Canopies offer pedestrian protection from the weather.
2. A mixture of uses including retail, office, bank, day care, grocery, residential is adjacent.
3. Several pedestrian plazas.
4. A wide, safe walkway in front of stores.

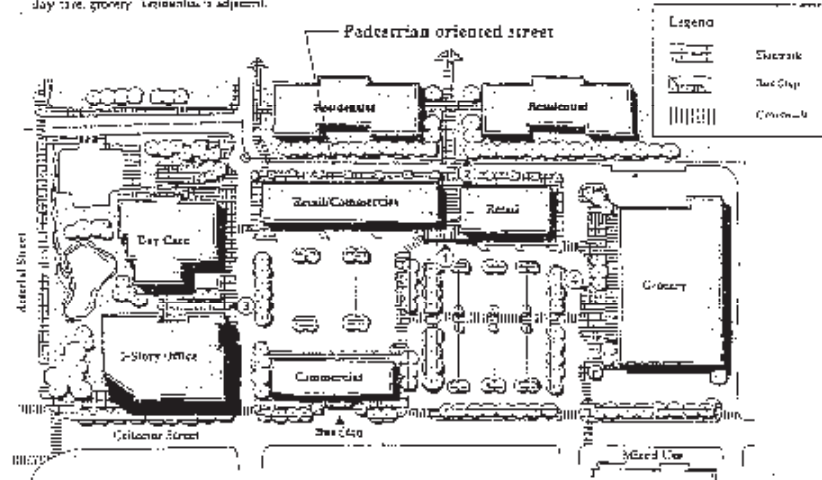
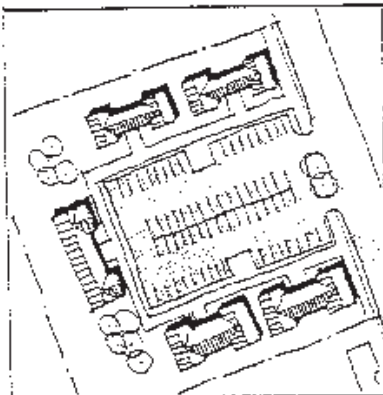


Figure I.C.(1) c

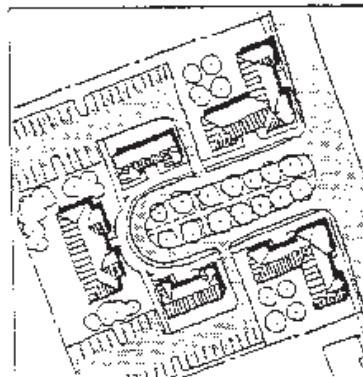
AVOID THIS CONDITION



These residential units front only a parking lot.

Parking lots to the front of buildings, especially when carports and garages for cars are included, restrict pedestrian circulation, lower values, and create large expanses of asphalt.

MORE SUCCESSFUL ALTERNATIVE



Preferred site planning which creates usable open space, adding value and identity to the complex, by siting parking behind the buildings.

Providing a small park or open space off of the road and allocating smaller parking lots behind residential buildings increases the value of development and creates a more visually pleasing environment.

D. Siting Service Areas

INTENT:

- To “reduce the visibility of unsightly uses (trash containers for example), in the business district.”
- To minimize the visibility of “backs” of buildings where service areas are located.
- To “encourage more thoughtful siting of trash containers and service areas, balancing the need for service with the desire to screen its negative aspects.”
- To reduce the noise impacts of service areas.

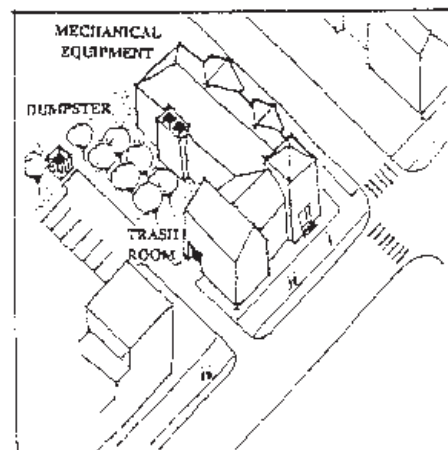
GUIDELINES:

I.D.(1) Reduce impact of service areas and mechanical equipment.

Applicability:	Checked boxes indicate the districts that this guideline applies to.
✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway Indust. ✓ Mixed Use	

- a) Locate service areas (loading docks, trash dumpsters, compactors, mechanical equipment, and storage yards) to not have a negative visual, auditory (noise), or physical impact on the street environment, and adjacent residentially zoned properties. Locate service areas at the rear of the lot, if possible. This provision may be difficult for some existing small lots in Old Town.

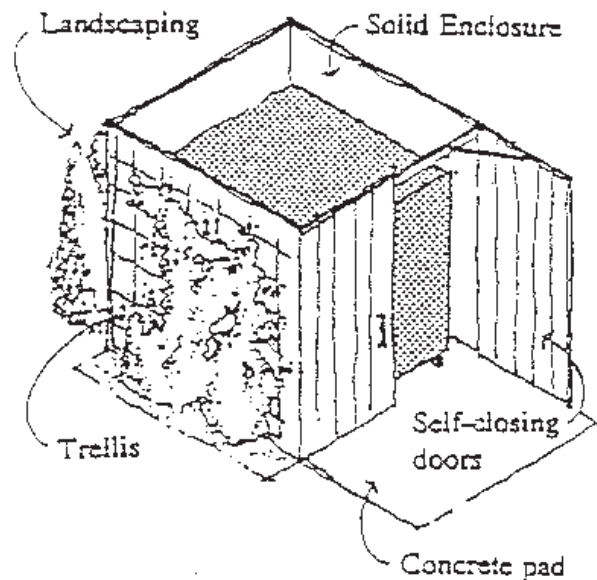
Figure I.D.(1) a



The proper location of service elements is important to reduce their impact.

- b) When service elements are visible from the sidewalk or adjacent properties, the elements must be screened. Dumpsters, refuse and recycling collection points shall be screened to meet the following:
- Architectural design of any structure enclosing an outdoor collection point or any building primarily used to contain a collection point shall be consistent with the design of the primary structure(s) on the site.
 - A six foot wall or fence shall enclose any outdoor refuse collection point, or dumpster service area, etc. excluding collection points located in industrial developments that are greater than 100 feet from residentially zoned property. The fence shall be a solid material such as wood or masonry rather than chain link fence.

Figure I.D.(1) b



E. Biofiltration Swales

INTENT:

- To “provide attractive options for the provision of grass-lined biofiltration swale.”
- To “incorporate biofiltration swales and ponds into project site design and landscaping more effectively.”
- To encourage drainage elements to be visually attractive, useful, people-oriented site amenities and/or habitat resources.

NOTE: Biofiltration swales must be provided on site according to public works standards. In order to be effective, grass-lined swales must meet specific standards related to slope, capacity, vegetation growth, etc. The guidelines below are intended to better integrate grass swales into site design while maximizing their biofiltration efficiency.

GUIDELINES:

I.E.(1) Integrate biofiltration swales and ponds into the overall site design through one of the following means:

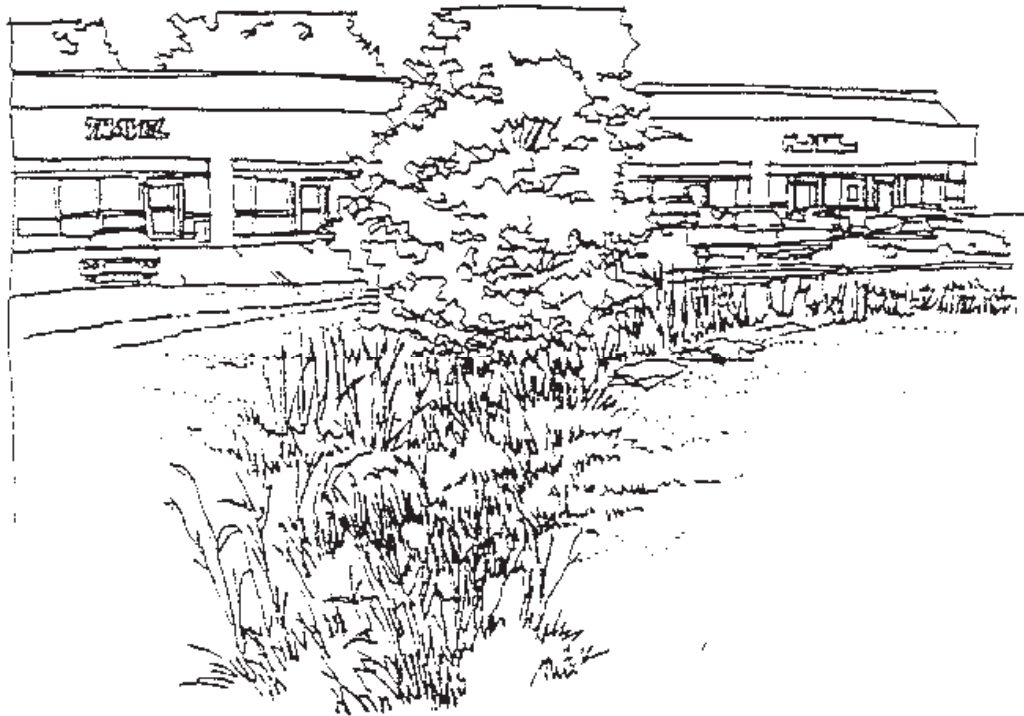
Applicability:	Checked boxes indicate the districts that this guideline applies to.									
Old T.	✓	Village R.	✓	Auto-O.	✓	Gateway	✓	Indust.	✓	Mixed Use

- (Generally, first preference where topography and other site conditions will allow.) Locate biofiltration swales, pond, or other approved biofiltration systems at the side or rear of the lot and incorporate as part of a landscape screen. Trees may be planted near the grass swale as long as they do not substantially shade the grass within the swale. The swale or pond should be oriented so it does not impede pedestrian circulation nor shared parking between two or more properties.
- (Generally, second preference where topography is favorable.) Locate biofiltration swale, wet pond, or other approved biofiltration system within the paved parking or service area. The swale or pond should be oriented so it does not impede pedestrian circulation, and landscaped as part of the required internal parking lot landscaping.
- (Generally, employ this option only when options a and b are not practical.) Locate swale along the front edge of the property. Incorporate landscaping and screening to visually enhance the swale without reducing maintainability and sun exposure. Biofiltration ponds should not be located along the front edge of the property, unless

incorporated as a water feature.

- d) The incorporation of screening elements and/or landscaping into biofiltration swale designs is encouraged if the biofiltration swale is located and/or designed as a positive landscaping feature with an approved design and plant materials. It may be counted as part of the required site landscaping.

Figure I.E.(1) a



Example:

This shopping center incorporated a drainage swale into a central open space that serves as a focal site amenity.

Figure I.E.(1) b

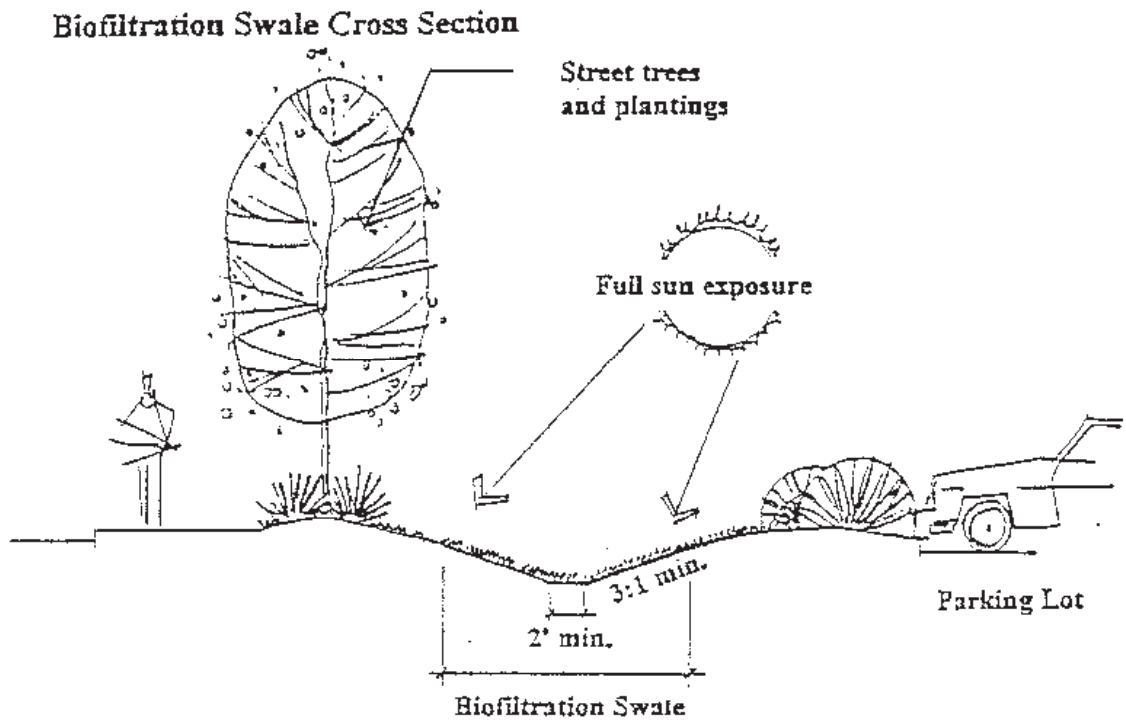


Figure I.E.(1) c

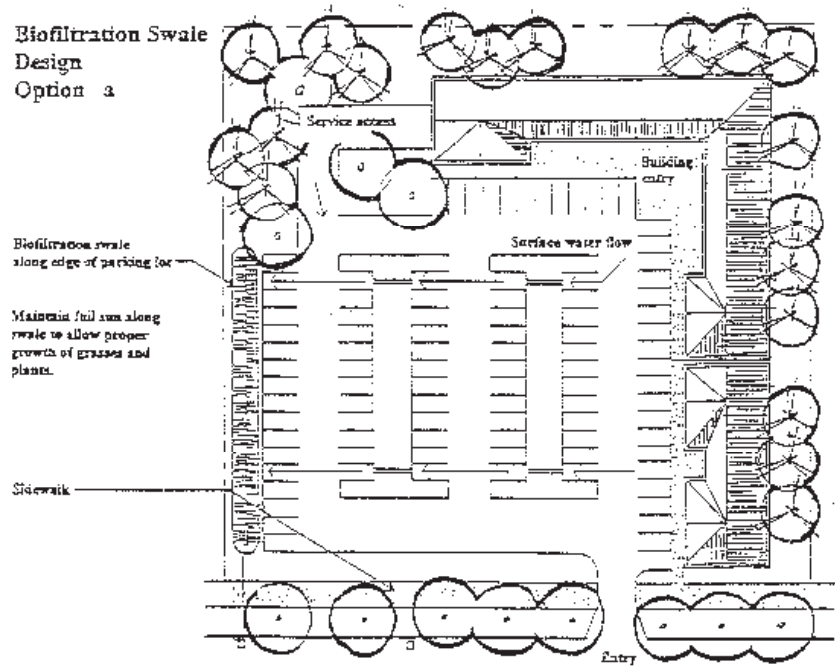
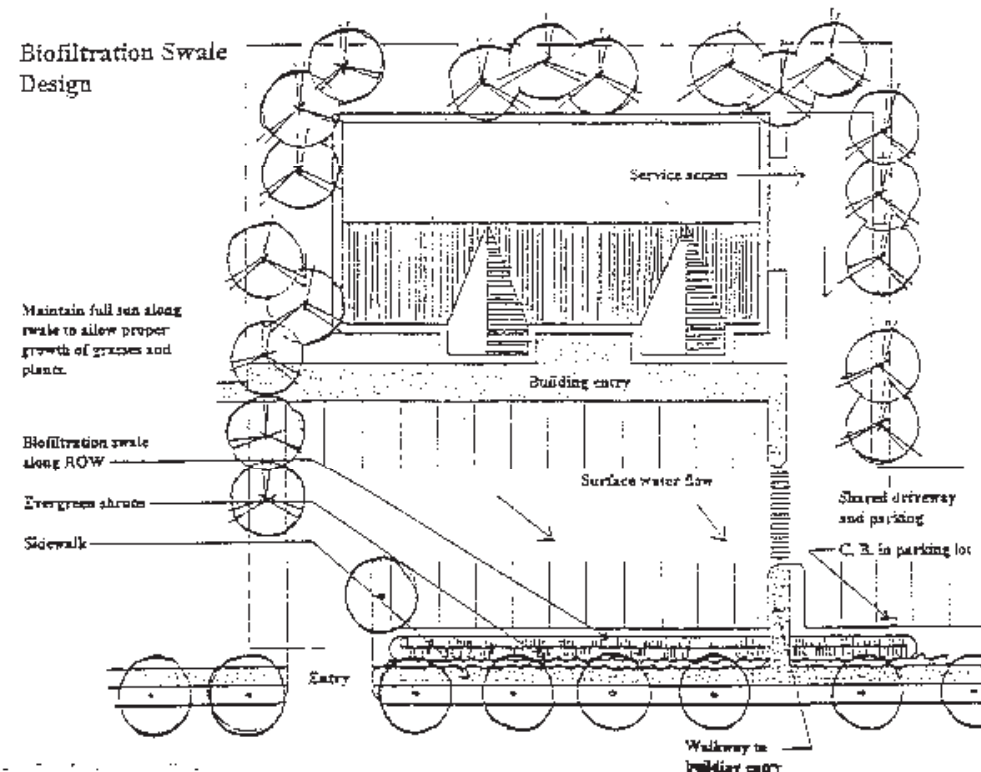
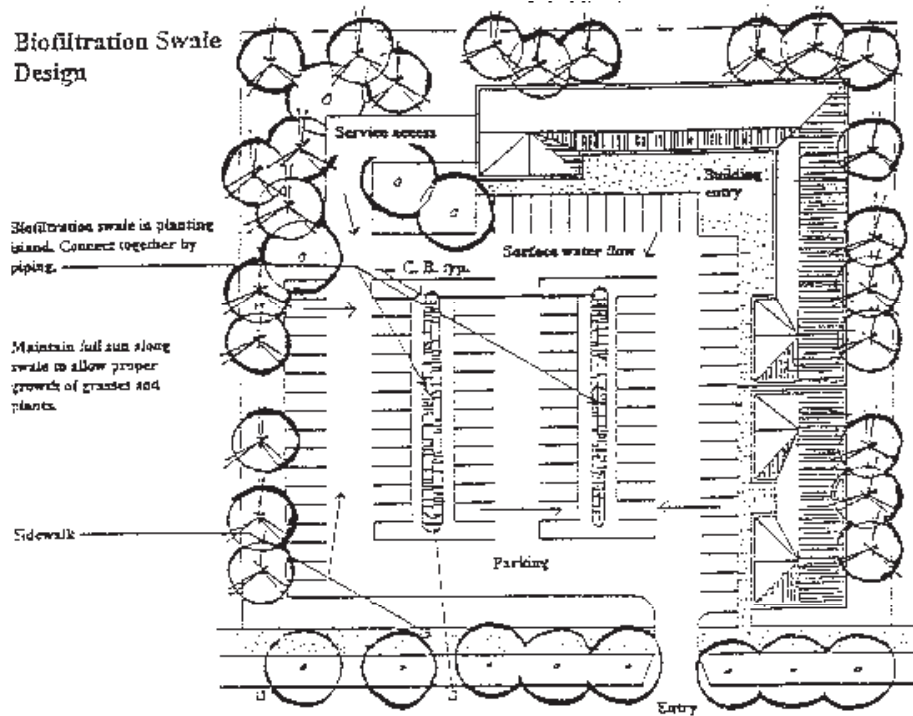


Figure I.E.(1) c (continued)



F. Street Corners

INTENT:

- To improve the appearance of highly visible locations.

GUIDELINES:

I.F.(1) Enhance the visual quality of development on corners.

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway Indust. ✓ Mixed Use

New development on corner lots at street intersections must enhance the property's visual qualities at the corner by one or more of the following methods:

- Installing substantial landscaping (at least 200 SF of ground surface area with trees and shrubs or ground cover) at or near the corner of the lot. Landscaping could include plant material to form a low hedge. However, care should be taken to not create a visibility or security problem.
- Installing a decorative screen wall (at least 3 foot high), a trellis or other continuous architectural element with a length of at least 20 feet, along the front property line. Height and location of elements should not create a visibility or security problem.
- Providing a pedestrian walkway from corner to building entry and/or a building entry at the corner of the building nearest the intersection.
- Any of the architectural cover treatments listed in IV.C.(1).
- Locating a building within 15 feet of either or both front property lines.
- Other element or method approved by the City.

I.F.(2) New development is encouraged to provide a paved pedestrian walkway from the street corner to the building entrance.

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. Auto-O. Gateway Indust. ✓ Mixed Use

This will encourage walking between businesses, especially from one street corner to another, and may contribute to a reduction in local traffic impacts.

II. Pedestrian Access

A. General Pedestrian Access Requirements

INTENT:

- To improve the pedestrian environment by making it easier, safer and more comfortable to walk between businesses, to the street sidewalk, to transit stops, and through parking lots.
- To connect all modes of transportation including auto, bus, vans and bicycles.
- To provide safe, continuous pedestrian access in the Downtown area of Yelm.
- To provide the pedestrian, disabled person and transit user with a safe and clear path to the entry door of a building.
- To provide safe pedestrian routes across busy streets by a variety of means, including signalized intersections at driveways with heavy traffic volumes and distinctively marked crosswalks.

GUIDELINES:

II.A.(1) All pedestrian paths must correspond with federal, state and local codes for handicapped access, and the Americans with Disabilities Act.

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

II.A.(2) Provide adequate lighting at the building entries and all walkways and paths through parking lots, as required by the Non-Residential Energy Code.

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

For safety, at least 4 foot candles of light is recommended at building entries and 2 foot candles at the paths. Also, ensure that landscaping does not block visibility from motorists or create unsecured areas.

II.A.(3) Develop an on-site pedestrian circulation concept.

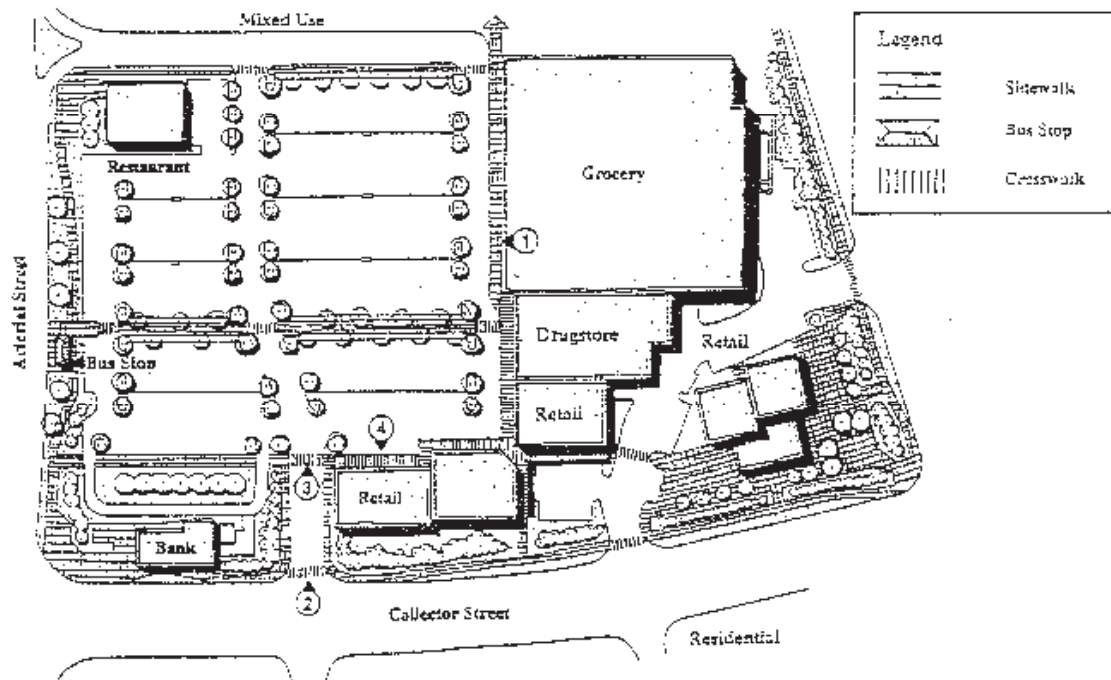
Applicability: Checked boxes indicate the districts that this guideline applies to.
✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

The development of an overall circulation concept is encouraged. Walkways should be integrated with the required parking lot landscaping. Walkways should also tie into neighboring properties where there is the opportunity (see II.E.).

Figure II.A.(1) a **Example of development that adequately supports on-site pedestrian circulation**

Desired Features:

1. A wide, safe walkway in front of stores (16 feet minimum, 20 feet preferred).
2. Driveways located away from fronts of stores to minimize conflicts between pedestrians and cars.
3. Safe internal pedestrian access and circulation with connections to surrounding properties.
4. Canopies in front of stores offer weather protection to the patrons.



B On-Site Pedestrian Circulation

GUIDELINES:

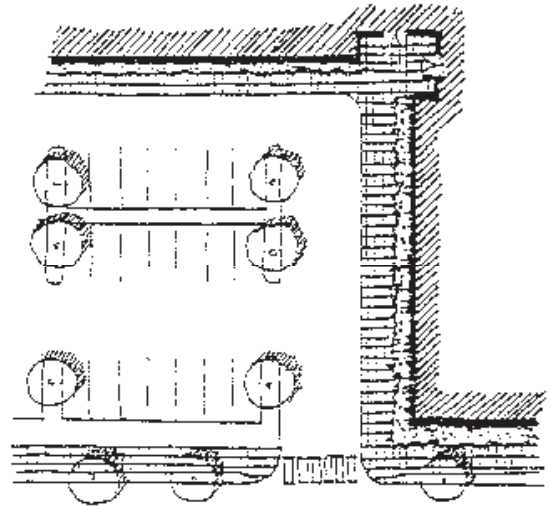
- II.B(1) All Building shall have a paved pedestrian path at least 60" wide (preferably 96" wide) from the street sidewalk to the main entry.**

Applicability:	Checked boxes indicate the districts that this guideline applies to.
✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway Indust. ✓ Mixed Use	

Buildings with entries not facing the street should have a clear and obvious street sidewalk to the entry (Siting Buildings and Parking Lots). This path should be separate from vehicular traffic or raised above the vehicular pavement. See Figure II.B.(1) a.

Figure II.B(1) a

Provide a clear pedestrian path to the main entry of all buildings from the sidewalk along the street.



- II.B(2) Provide pedestrian paths or walkways connecting all businesses and the entries of multiple buildings on the same development site.**

Applicability:	Checked boxes indicate the districts that this guideline applies to.
✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway Indust. ✓ Mixed Use	

See Figure II.B.(2) a.

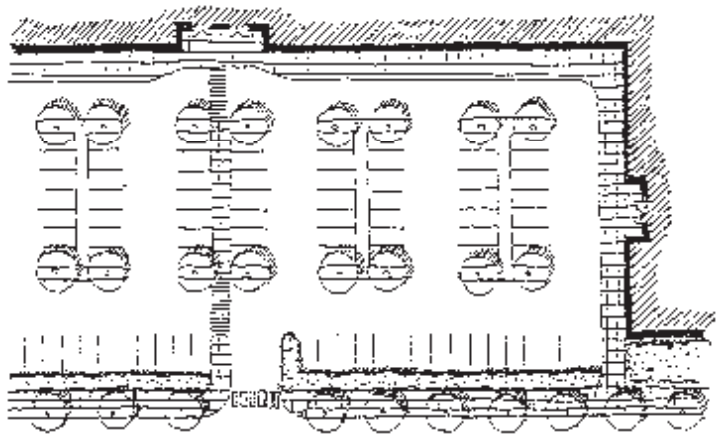
II.B(3) Provide pathways through parking lots.

Applicability: Checked boxes indicate the districts that this guideline applies to.
✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway Indust. ✓ Mixed Use

A specially marked or paved crosswalk must be provided through parking lots greater than 150 feet long (measured parallel to the street front) or more than 2 bays deep (approximately 75 feet measured perpendicular from street front). Generally, walkways should be provided every four rows and a maximum distance of 150 feet shall be maintained between paths. This distance should be considered somewhat flexible to account for the length of the parking lot and driveway locations.

Figure II.B.(3) a

To increase pedestrian access and safety, clear pedestrian paths should be designated into parking lots over 150' long or 2 parking bays (approx. 65') wide. If more than 150', provide one path for each 150' of length.



C. Sidewalk Widths

INTENT:

- To provide safe, convenient, comfortable pedestrian circulation along all streets.

GUIDELINES:

II.C.(1) Where street Right-Of-Way is insufficient to provide adequate sidewalks, buildings and other site features must be set back from the public Right-Of-Way to achieve at least the following minimum sidewalk widths:

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway Indust. ✓ Mixed Use

- a) On pedestrian oriented streets and where buildings are adjacent to the sidewalk edges, maintain a walkway surface at least 12' wide. See Figure II.C.(2) a.
- b) For other streets, maintain a walkway surface at least 5' wide.

The ground level of all new buildings located adjacent to a pedestrian oriented street shall be set back from the front property line sufficiently to provide a sidewalk at least 12' wide, distance as measured from the curb face to the front edge of the building. The sidewalk must be paved with concrete or unit paving in a manner suitable for pedestrian traffic. If the City of Yelm (City) has a programmed street improvement for the public Right-Of-Way in front of the building, then the required minimum width shall be measured from the proposed curb face location. Upper building stories may extend to the front property lines as long as they do not restrict pedestrian traffic (see Guideline I.A.(1)). All new fences, screen walls and other obstructions to pedestrian traffic shall also be set back the minimum distance from the curb face.

II.C.(2) Where new streets are developed, provide sidewalks according to the following minimum standards:

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

- a) For new pedestrian streets in the Village Retail, Old Town and Mixed Use Districts and where buildings are adjacent to the sidewalk, provide a walkway surface at least 12'-0" wide and street trees a maximum of 30' O.C., with grates or planting beds. Street tree plantings shall conform to standards in Section V – Landscape Design.
- b) For new streets in the Gateway and Auto Oriented Districts, provide a

30' O.C. in accordance with specifications in Section V – Landscape Design.

Figure II.C.(1) a
Minimum sidewalk dimensions and street tree requirements for sidewalk adjacent to building face or pedestrian oriented space

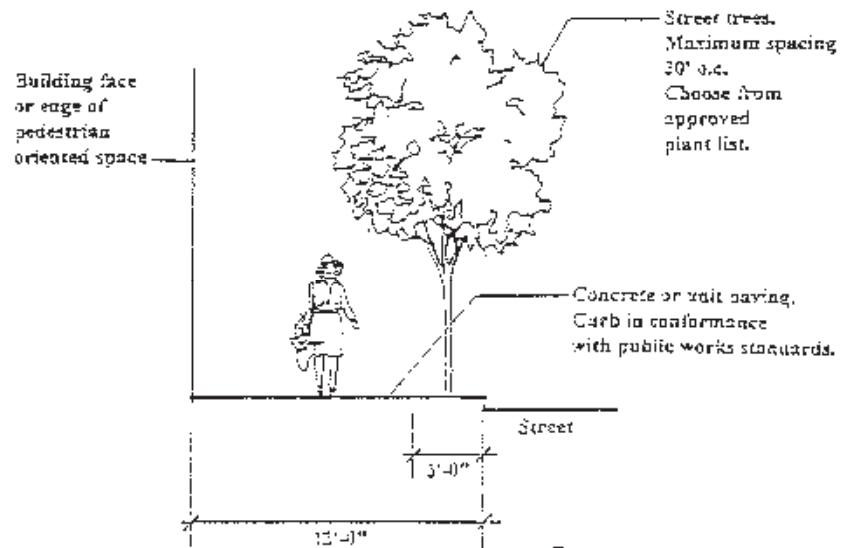
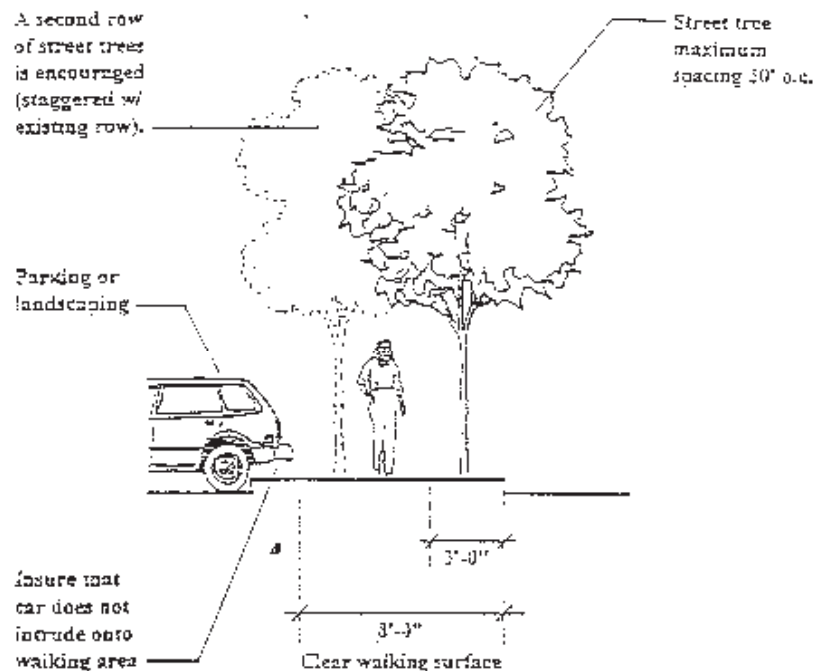


Figure II.C.(1) b
Minimum sidewalk dimensions for sidewalk not adjacent to street



D. Pedestrian Paths to Adjacent Uses and Transit Facilities

INTENT:

- To provide safe and continuous pedestrian access in the study area.
- To minimize conflict between pedestrians and vehicular traffic.
- To connect residential neighborhoods with safe pedestrian and bike paths to needed shopping and services.
- To provide safe routes for the pedestrian and disabled person across parking, to entries and between buildings.
- To provide pedestrians with access to adjacent properties.
- To improve businesses by making them more accessible and convenient, by allowing people to walk between businesses to comparison shop if they wish and to safely walk and bike to commercial nodes from adjacent residential areas.

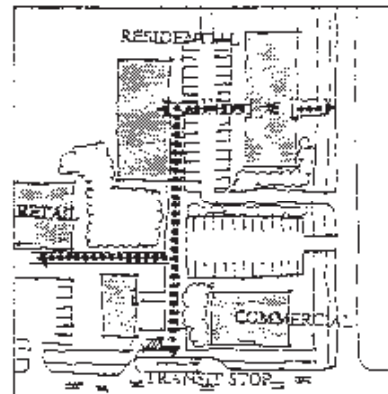
GUIDELINES:

II.D.(1) Provide, where feasible, pedestrian circulation routes to adjacent uses and transit.

Applicability: Checked boxes indicate the districts that this guideline applies to.
✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway Indust. ✓ Mixed Use

Figure II.D.(1) a

Provide clear pedestrian paths connecting sites with adjoining compatible uses.



Provide access from building/business entry to connect with:

- Building entries of businesses and services within the development.
- Building entries of nearby multifamily residential complexes.
- Marked crosswalks.

II.D.(2) Integrate nearby transit stops into the planning of adjacent site improvements.

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

This may be done by providing extra space for waiting areas, incorporating bus pull outs or stops into the site's circulation scheme and/or providing a walkway (preferably covered) directly from the transit stop into the project's entrance. Pavement for expanded waiting areas and connecting walkways may be located within required setbacks and may count as landscape areas, provided the areas meet the intent of V.I. To act as an incentive, parking requirements may be reduced if convenient connections to transit are provided.

II.D.(3) Encourage pedestrian paths from all transit stops through commercial areas to residential areas with 1200 feet.

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway Indust. ✓ Mixed Use

Easements for pedestrian access should be provided to facilitate the future extension of these paths as adjoining properties are improved.

E. Pedestrian Areas at Building Entries

INTENT:

- To use the architectural elements of a building and landscaping to highlight and define the entrance.
- To enhance the visual character of buildings and to improve the pedestrian environment.
- To encourage and welcome people into a business.

GUIDELINES:

II.E.(1) Enhance building entry access.

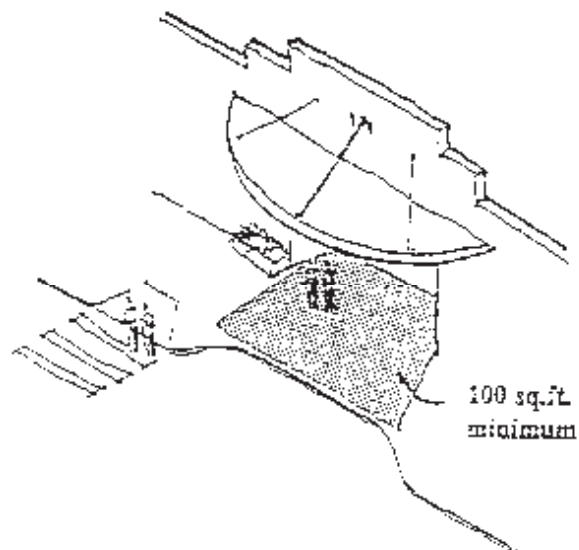
Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway Indust. ✓ Mixed Use

The primary public entries of all businesses and multifamily residential buildings must be enhanced by two or more of the following means:

- a) Providing weather protection such as an awning, canopy, marquee or other building element to create a covered pedestrian open space of at least 100 square feet. See Figure II.E.(1) a.

Figure II.E.(1) a

Provide a covered pedestrian open space of a minimum 100 SF adjacent to the entry of all commercial buildings facing parking lots.



- b) Providing at least 200 square feet of landscaping at or near the entry.
- c) Providing pedestrian facilities, such as benches, kiosks, special paving, bicycle racks, etc. (Note: Bicycle parking areas are recommended near building entries. Locate so that they do not conflict with pedestrian circulation.)
- d) Providing a trellis, canopy, porch or other building element that incorporates landscaping.
- e) Providing special pedestrian scaled lighting.
- f) Providing adjacent window displays.
- g) Providing building ornamentation such as mosaic tile, relief sculpture, ornamental wood or metal trim, etc.
- h) Providing artwork or special pedestrian scaled signs.
- i) Other methods as approved by the City.

See figure II.E.(1) b.

Figure II.E.(1) b
Desirable pedestrian qualities at building entries

Space and plaza for outdoor dining, sales etc.

Arcades and other weather protection



Multi story buildings

Pedestrian oriented uses

Pedestrian oriented facades (window displays)

F. Pedestrian Activity Areas and Plazas

INTENT:

- To provide a variety of pedestrian oriented areas to attract shoppers.

GUIDELINES:

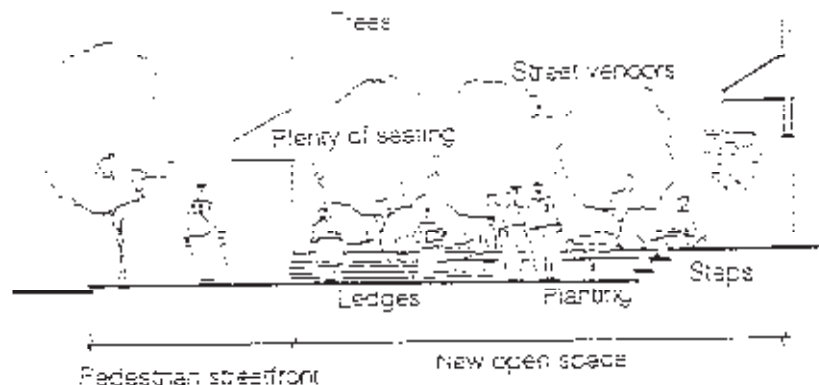
II.F.(1) Provide pedestrian oriented open space at key locations.

Applicability:	Checked boxes indicate the districts that this guideline applies to.					
✓ Old T.	✓ Village R.	Auto-O.	Gateway	Indust.	✓ Mixed Use	

Where the street-front building façade is not directly adjacent to the sidewalk, the space between the sidewalk pavement and the building (the front yard) shall be developed as a garden, lawn, native landscaping and/or *pedestrian oriented space* meeting the criteria stated below.

“A *pedestrian oriented space*” is an area between a building and a public street or on a pedestrian path which promotes visual and pedestrian access onto the site and which provides pedestrian oriented amenities and landscaping enhancing the public’s use of the space for passive activities, such as resting, reading, picnicking, etc.

Figure II.F.(1) a
Desirable qualities in a “pedestrian oriented space”



To qualify as a “pedestrian oriented space” an area must have:

- Visual and pedestrian access (including handicapped access) into the site from the public Right-Of-Way.

- Paved walking surfaces of either concrete or approved unit paving.
- On-site or building mounted site lighting providing at least 4 foot candles (avg.) on the ground.
- Seating: at least 2 linear feet of seating area (bench, ledge, etc.) or one individual seat per 60 SF of plaza area or open space.

A “pedestrian oriented space” is encouraged to have:

- Landscaping that does not act as a visual barrier.
- Site furniture, artwork or amenities such as fountains, kiosks, etc.

A “pedestrian oriented space” shall not have:

- Asphalt or gravel pavement.
- Adjacent unscreened parking lots.
- Adjacent chain link fences.
- Adjacent “blank walls” without “blank wall treatment.”

III. Vehicular Access and Parking

A. Access Roads

INTENT:

- To mitigate traffic impacts.
- To create a safe, convenient network for vehicle circulation and parking.

GUIDELINES:

III.A.(1) Provide access roads through large lots with more than one street frontage.

Applicability: Checked boxes indicate the districts that this guideline applies to. Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use
--

The City may require all development projects on properties of more than 10 acres which front on two streets to provide “through access” between existing roads.

B. Vehicle Entrances and Driveways

INTENT:

- To provide safe, convenient access to downtown sites without diminishing pedestrian and visual qualities.

GUIDELINES:

III.B.(1) Minimize driveway impacts.

Applicability: Checked boxes indicate the districts that this guideline applies to.

✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

Parking lot entrances, driveways and other vehicle access routes onto private property from a public Right-Of-Way shall be restricted based upon width of frontage: 1 for 0-50 foot frontage, 2 for 51-150 foot frontage, 3 for 151-500 foot frontage, and 4 for over 500 foot frontage. The City may impose additional restrictions, pursuant to the City of Yelm Development Guidelines, to parking lot and vehicle access point location to reduce impacts to public safety, pedestrian movement, on-street vehicle circulation and visual qualities.

C. Parking Lot Location and Design

INTENT:

- To discourage parking lots in front of buildings along pedestrian oriented streets and adjacent to public parks, and to encourage parking behind buildings and combined lots that serve more than one business or use.
- To minimize the number of parking lot entrances, especially on pedestrian oriented streets.
- To provide for clear internal vehicle circulation patterns and consideration of pedestrian walkways in parking lots.
- To monitor the development of parking garages to provide convenient, less intrusive parking. To create parking garages that fit into Downtown Yelm's scale and character.
- To encourage shared parking facilities between adjacent compatible land uses.

GUIDELINES:

III.C.(1) Location of parking lots on pedestrian oriented streets.

Applicability: Checked boxes indicate the districts that this guideline applies to.						
✓ Old T.	✓ Village R.	Auto-O.	Gateway	Indust.		Mixed Use

For properties fronting on pedestrian oriented streets, parking lots shall be located in the back of lots, away from street sidewalks whenever feasible. The City shall determine on which streets parking is allowed.

- Parking lots within 20' of a *pedestrian oriented street* or a public park shall not occupy more than 50% of the lot frontage facing the street or park. The maximum 50% shall be measured horizontally, parallel to the property line adjacent to the street or park.
- For properties fronting on two or more *pedestrian oriented streets*, parking may be located within 20' of the Right-Of-Way along only one street, but that parking may extend up to 75% of that street frontage.
- Parking lots should be designed with curbs and gutters to direct storm water in accordance with City Development Guidelines.

See Guideline I.A.(1).

III.C.(2) Parking lot design detail standards:

Applicability:	Checked boxes indicate the districts that this guideline applies to.					
✓ Old T.	✓ Village R.	✓ Auto-O.	✓ Gateway	Indust.	✓ Mixed Use	

- a) All parking areas and driveways must be surrounded by a 6" high vertical concrete curb if the lot is visible from the street.
- b) All parking lots must be lighted to a level of at least .5 foot candle average as measured on the ground. Parking lot light fixtures shall be non-glare and mounted no more than 20 feet above the ground to minimize the impact onto adjacent properties.
- c) All landscaped and pedestrian areas shall be protected from encroachment by parked cars.
- d) Provide pathways as required in Section II.B.(3)
- e.) See Section V.I. for landscaping standards.

D. Incentives to Reduce Number of Surface Parking Stalls

INTENT:

- Allow reductions in number of parking stalls. The City may permit a reduction in required parking spaces in the conditions listed below.
- To allow more efficient land utilization.
- To reduce impacts of parking.
- To provide convenient access to buildings.
- To encourage shared driveway access to parking areas and parking, between adjacent properties to reduce curb cuts, making the street front safer for pedestrians and reducing traffic congestion.
- To encourage shared parking facilities between adjacent compatible land uses.

GUIDELINES:

III.D.(1) Minimize parking areas through joint use and management.

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

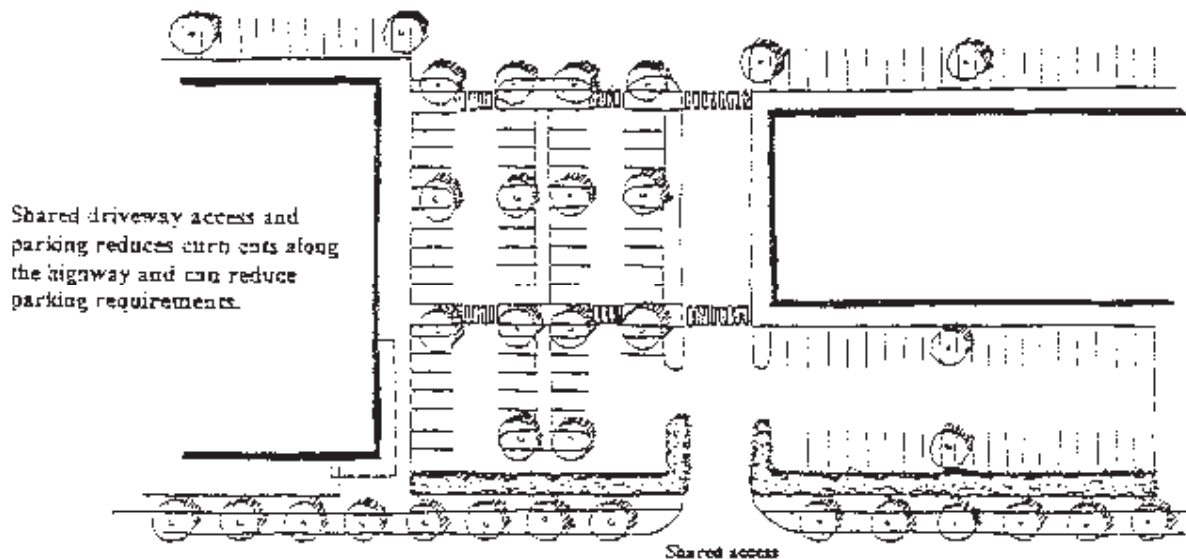
The City may allow the overall parking ratio (stalls/floor area, people or employees) to be reduced for buildings over 5,000 SF or more, provided such reductions are consistent with the intent of Chapter 17.72. Reductions in parking areas may include any combination of incentives, provided that the overall reduction does not exceed twenty-five percent (25%) of the base required area. Reductions in parking requirements may occur, but are not limited to the following guidelines:

1. A reduction of the required parking is possible with coordinated design and shared access to consolidated parking areas linked by pedestrian walkways.
2. Multiple parcels, under separate ownership, be treated as a single development site if all owners agree.
3. Primary night-time uses such as theaters and bowling alleys may receive up to a fifty percent (50%) reduction in providing the required number of parking stalls if:
 - a. A lease for the equivalent parking stall reduction is obtained from a primary daytime user such as a bank, office or retail store.
 - b. Leased parking is within three hundred (300) feet of the associated use,

as long as a pedestrian walkway exists or is provided between parking area and use.

4. Off-site leasing of parking areas may be utilized to meet the required ratio of parking for the proposed use provided that the leased parking is within three hundred (300) feet of the proposed use, as long as a pedestrian walkway exists or is provided between parking area and use.
5. Alternative programs that may be considered by the approval authority and/or site plan review committee under this section include, but are not limited to, the following:
 - a. Private vanpool operation;
 - b. Transit/vanpool fare subsidy;
 - c. Imposition and maintenance of a charge for parking;
 - d. Provision of subscription bus services;
 - e. Flexible work hour schedule;
 - f. Capital improvements for transit services;
 - g. Preferential parking for carpools/vanpools;
 - h. Participation in the ride-matching program;
 - i. Reduction of parking fees for carpools and vanpools;
 - j. Establishment of a transportation coordinator position to implement carpool, vanpool and transit programs;
 - k. Bicycle parking facilities.

Figure III.D.(1)a



III.D.(2) Encourage structured parking.

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

The City may allow greater development intensity (floor area) if structured parking is provided. As a general criterion, one extra square foot of occupiable building floor area may be allowed for every square foot of structured parking. (Structured parking would not count as part of Floor Area Ratio calculation.)

III.D.(3) Reduce impacts of parking garages

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

All parking garages and ground level parking located within a covered structure or building shall be separated at the ground level (ground floor) from the sidewalk or park by:

- a) All parking garages and ground level parking lots shall be screened or treated along its façade facing the street by a landscaped setback designed in conformance with the following standards:
 - The yard setback shall be at least 6' wide as measured perpendicular to the front property line. The setback will be landscaped with:
 - Trees – placed a maximum of 25'0" on center;
 - Shrubs – at least 24" high at time of planting, planted at a density of 5 plants per 100 SF together with living ground cover, planted to attain a coverage of 90 percent within three years of planting.
 - All landscaping must meet the requirements outlined in Section V. – Landscaping. Plant materials species and design must be as approved by the City.

IV. Building Design

A. Human Scale

INTENT:

- To encourage buildings that are “comfortable” by relating building elements to the size of the human body.

GUIDELINES:

IV.A.(1) Incorporate human-scale building elements.

Applicability:	Checked boxes indicate the districts that this guideline applies to.				
✓ Old T.	✓ Village R.	✓ Auto-O.	✓ Gateway	Indust.	✓ Mixed Use

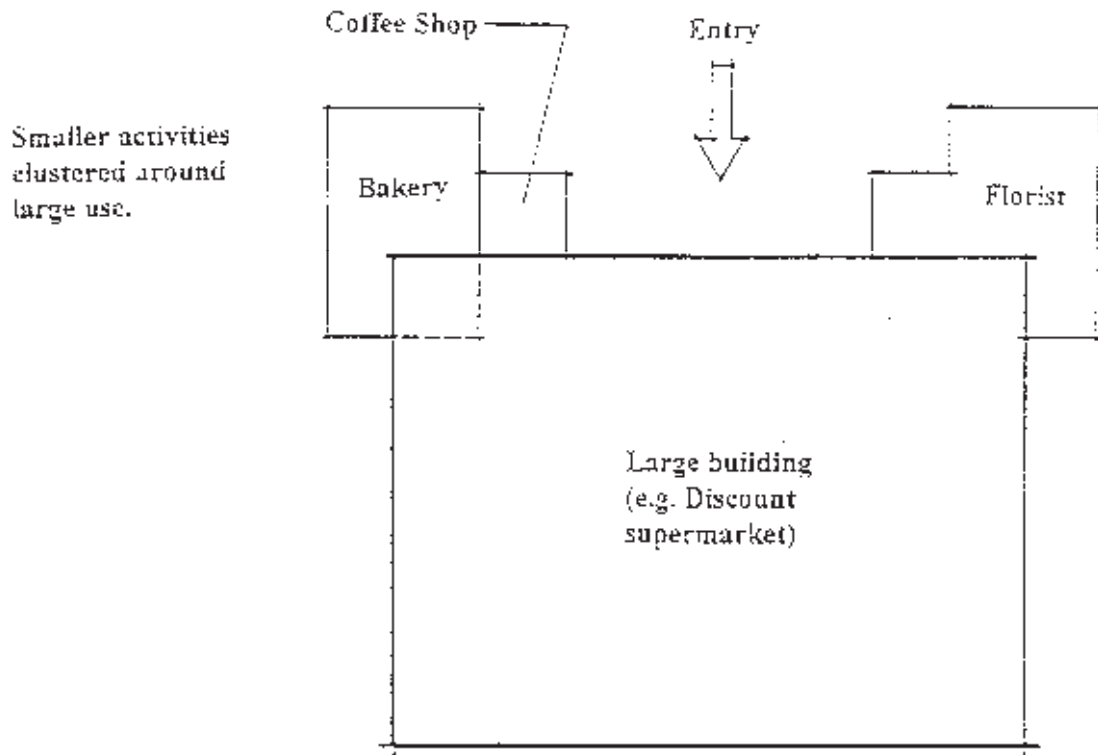
All new buildings and *major exterior remodels* must employ at least two of the following elements or techniques toward achieving a “human scale” (see definition). If a proposed building is over 3 stories in height, or more than 100’ wide as measured along any façade facing a street and visible from that street, then building shall use at least three of the listed elements.

- Balconies or decks in upper stories, at least one balcony or deck per upper floor on the facades facing streets. Balconies are encouraged to be at least six feet deep and ten feet wide.
- Bay windows that extend out from the building face (See definition of Bay Window in Definitions).
- At least 150 SF of *pedestrian oriented space* that meets the standards stated in definitions.
- Individual windows, generally less than 32 square feet per pane and separated from other windows by at least a 6-inch molding.
- Gable or hipped roof, providing that the hipped or gable roof covers at least one half of the building’s footprint and has a slope greater or equal to 3 feet vertical in 12 feet horizontal.
- A porch or covered entry.
- Spatially defining building elements that define an occupiable space such as a trellis, overhang, canopy or other.
- Upper story setbacks, providing one or more of the upper stories are set back from the face of the building at least 6 feet.
- Composing smaller building elements near the entry or pedestrian oriented street fronts of large buildings as in the example in Figure IV.A.(1)a.
- Other design methods proposed by project applicant. The City may consider

other methods to provide human scaled elements not specifically listed here. The proposed methods must satisfy the intent of the design principles. The City's decision as to whether the proposal is approved will be final.

All proposals for achieving human scale are subject to approval by the City.

Figure IV.A.(1)a



B. Architectural Scale

INTENT:

- To encourage new development to be compatible with downtown Yelm's architectural size and character.

GUIDELINES:

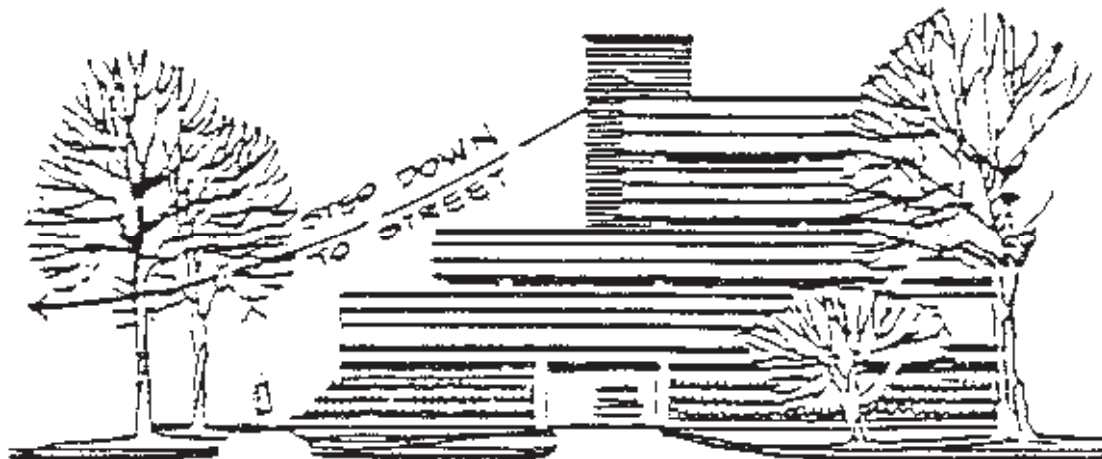
IV.B.(1) Reduce scale of large buildings.

Applicability:	Checked boxes indicate the districts that this guideline applies to.
✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway Indust. ✓ Mixed Use	

All new buildings over three stories, or up to 5,000 SF in gross building footprint, must provide at least one of the following features and for buildings over 5,000 SF in gross building footprint, must provide 2 or more of the following features along their facades visible from public Right-Of-Way and pedestrian routes and entries toward achieving an architectural scale consistent with other structures in downtown Yelm:

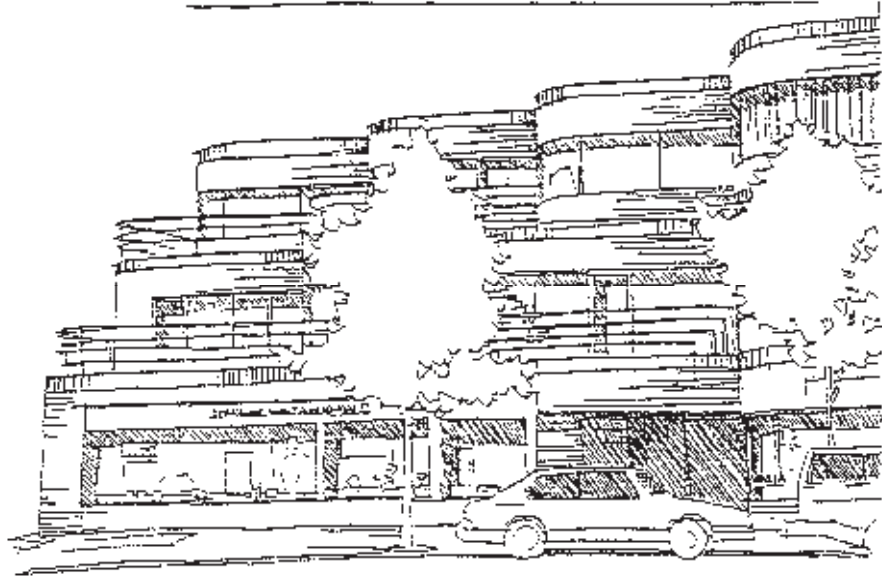
- a) Upper story setback. To qualify for this option, buildings must have a setback of upper stories from the ground floor by at least ten feet from the face of the second floor facing the public Right-Of-Way.

Figure IV.B.(1)a
Upper story setback



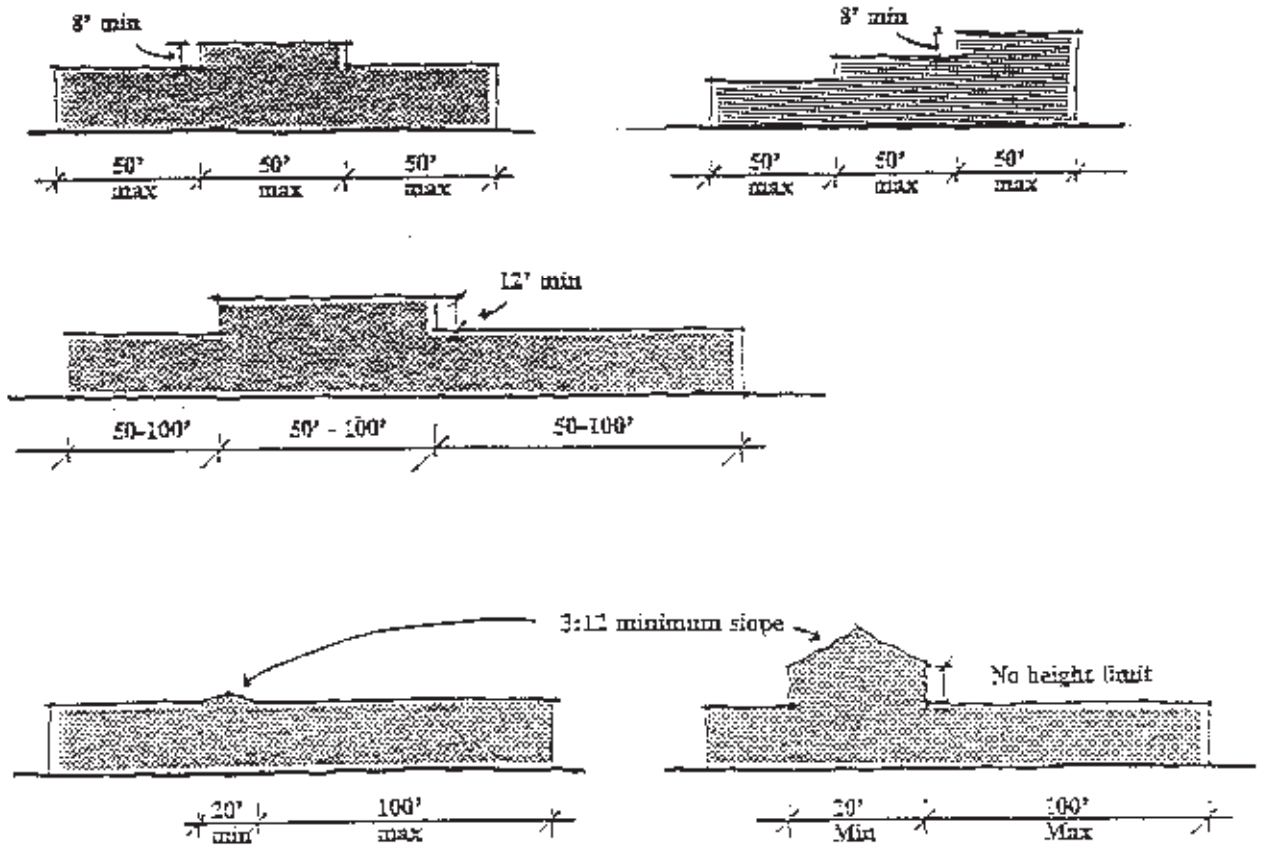
- b) Horizontal Building Modulation – “Horizontal Building modulation” is the stepping back or projecting forward of portions of a building façade within the specified intervals of a building width and depth as a means of lessening the apparent bulk of a structure’s continuous exterior wall. Buildings may satisfy the regulation for architectural scale if all building facades within 400’ of a public right of way or park, and/or visible from that right of way or park, conform to the following standards:
- The maximum width (as measured horizontally along the building’s exterior) without building modulation shall be 100 feet.
 - The minimum depth of modulation shall be 6 feet.
 - Roof decks or balconies may be used as all or part of the building modulation so long as each individual balcony has a floor area of 60 square feet. (See Figures IV.B.(1)a and IV.B.(1)b for illustration of façade modulation standard.)

Figure IV.B.(1)b
Building's façade horizontally modulated through setbacks to upper stories, reducing apparent size (or scale) of building



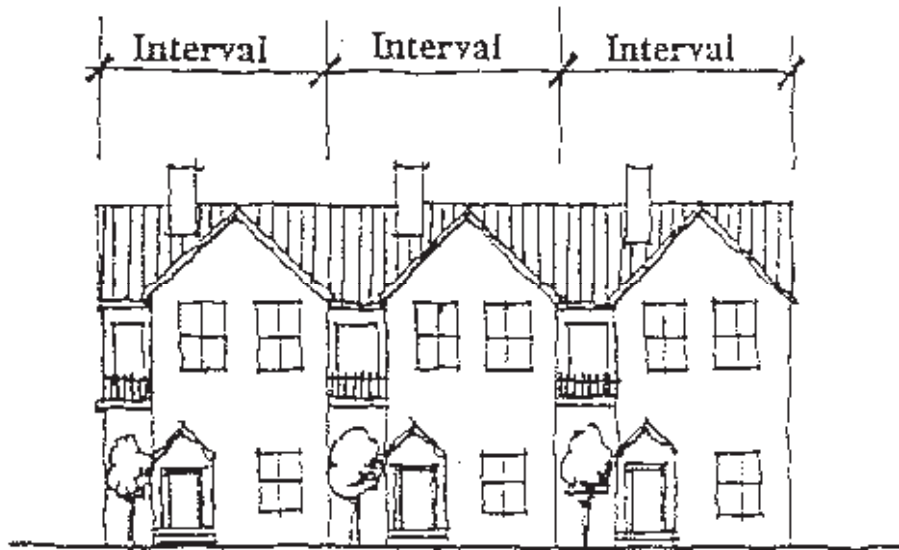
- c) Modulated roof line – Buildings may satisfy the regulation by modulating the roof line of all facades visible from a public Right-Of-Way or park according to the following standards:
- For flat roofs or facades with a horizontal wave, fascia or parapet. Change to roofline so that no unmodulated segment of roof exceeds 100’.
 - Gable, hipped or shed roofs with a slope of at least 3’ vertical to 12’ horizontal qualify for this option.
 - Other roof forms. Other roof forms such as arched, vaulted, dormer or saw-toothed may satisfy this regulation if the individual segments of the roof without a change in slope or discontinuity are less than 100’ in width (measured horizontally). (See Figure IV.B.(1)c.)

Figure IV.B.(1)c
Illustration of different flat roof modulation options



- d) Building “articulation” with design elements such as the following, so long as the interval does not exceed 100’.
- Repeating distinctive window patterns at intervals equal to the articulation interval.
 - Providing a porch, patio, deck, or covered entry for each interval.
 - Providing a balcony or bay window for each interval.
 - Changing the roofline by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval.
 - Changing materials with a change in building plane.
 - Providing a lighting fixture, trellis, tree or other landscape feature within each interval.

Figure IV.B.(1)d
Building articulation to reduce the scale of a building



- e) Clustering smaller uses and activities around entrances on street-facing facades.
- f) Including massing of substantial landscaping and/or pedestrian oriented open spaces along the building façade.
- g) Other design methods proposed by project applicant. The City may consider other methods to provide architectural scaled elements not specifically listed in a – f above. The proposed methods must satisfy the intent of the design principles listed in the Downtown Plan. Scale reduction can be accomplished by a combination of methods. Building facades not facing public Right-Of-Ways and/or pedestrian routes do not require scale reduction. Note that the City may increase the 100' interval for modulation and articulation to better match surrounding structures.

All proposals for achieving architectural scale are subject to approval by the City.

C. Building Corners

INTENT:

- To encourage unique, identifiable architectural features at highly visible building corners at street intersections.
(Note: This guideline deals with architectural features of buildings whereas Guideline I.F.(1) deals with site planning of corner lots.)

GUIDELINES:

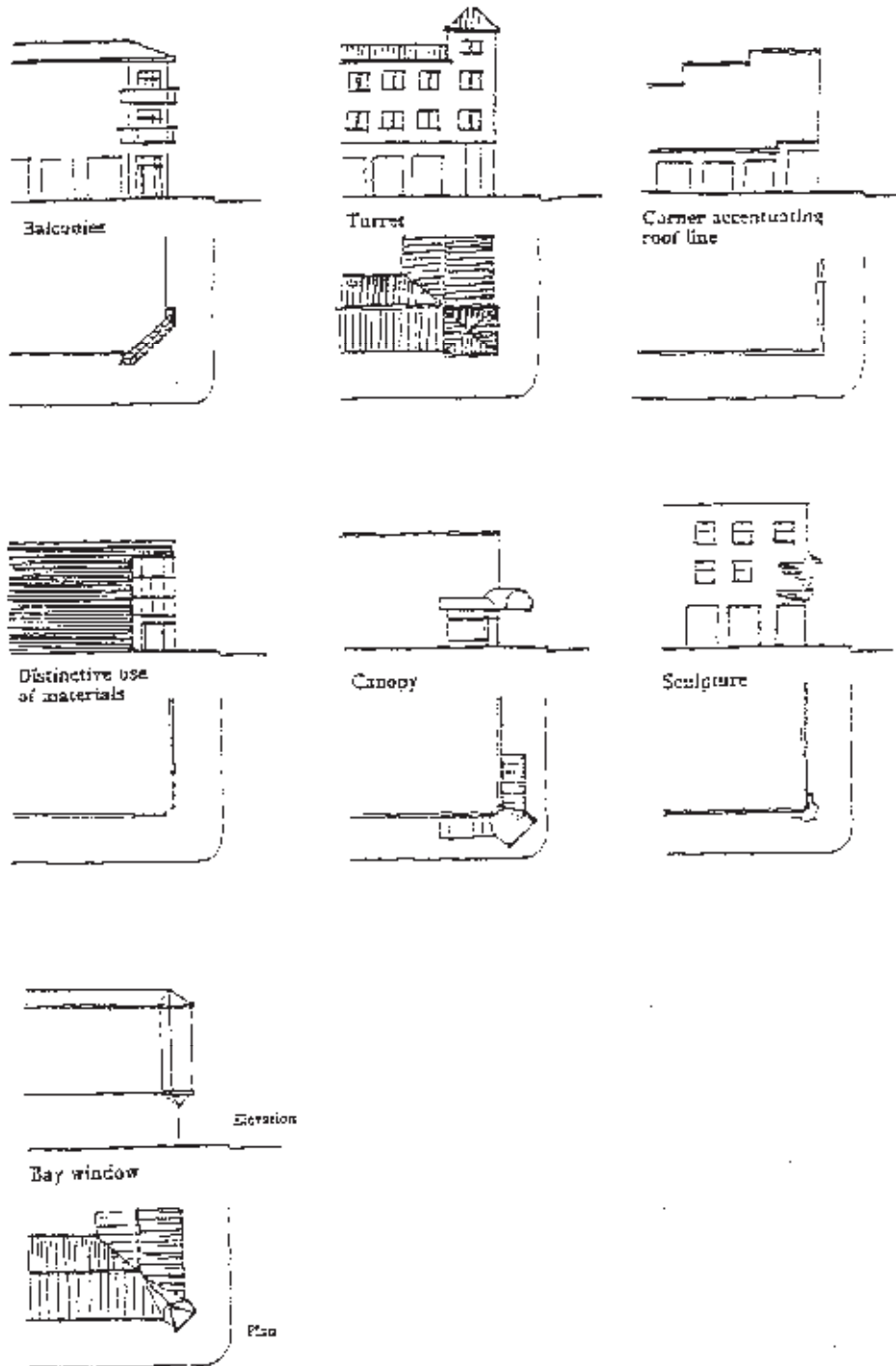
IV.C.(1) Architecturally accentuate building corners at street intersections.

Applicability:	Checked boxes indicate the districts that this guideline applies to.
✓ Old T. ✓ Village R. Auto-O. Gateway Indust. ✓ Mixed Use	

All new buildings located on properties at the intersection of two public streets are encouraged to employ one or more of the following design elements or treatments to the building corner facing the intersection. Any of the following measures may count as required elements to satisfy guidelines for architectural scale, human scale and building details.

- Provide at least 100 SF of sidewalk area or pedestrian oriented open space in addition to the otherwise required building setback. Upper stories may or may not be setback from the corner.
- Provide a corner entrance to courtyard, building lobby, atrium, or pedestrian pathway.
- Include a corner architectural elements such as:
 - Bay window or turret.
 - Roof deck or balconies on upper stories.
 - Building core setback “notch” or curved façade surfaces.
 - Sculpture or artwork either bas-relief, figurative or distinctive use of materials.
- Special treatment of pedestrian weather protection canopy at the corner of the building.
- Entry at Building Corner.
- Other similar treatment or element approved by the City.

Figure IV.C.(1)a
Examples of acceptable architectural elements
for corner treatment



D. Building Details

INTENT:

- When buildings are seen from a distance, the most noticeable qualities are the overall form and color. If we take a three-story commercial building that is 100' wide and 35' tall, then we must be at least 200' away from the building for it to fit within our cone of vision so that we can perceive its overall shape. At that distance, windows, doors, and other major features are clearly visible.

However, as we approach the building and get within 60' to 80' from the building (approximately the distance across a typical downtown street), we notice not so much the building's overall form as its individual elements. When we get still closer, the most important aspects of a building are its design details, texture of materials, quality of its finishes and small, decorative elements. In a pedestrian oriented business area, it is essential that buildings and their contents be attractive up close. Therefore, these guidelines include principles and regulations which require all buildings to incorporate design details and small scale elements into their facades.

GUIDELINES:

IV.D.(1) Enhance buildings with appropriate details.

Applicability:	Checked boxes indicate the districts that this guideline applies to.					
✓ Old T.	✓ Village R.	✓ Auto-O.	✓ Gateway	Indust.	✓ Mixed Use	

All new buildings shall include at least one of the following elements on the facades that face a public street or park.

- Decorated Rooflines: such as an ornamental molding, entablature, frieze or other roofline device visible from the ground level. If the roofline decoration is in the form of a linear molding or board, then the band must be at least 8" wide.
- Decorative Treatment of Windows and Doors: such as a decorative molding or framing details around all ground floor windows and doors located on facades facing or adjacent to public streets or parks or decorative glazing or door designs.
- Decorative Railings, Grill Work or Landscape Guards.
- Landscape trellises.
- Decorative Light Fixtures: with a diffuse visible light source such as a

globe or “acorn” that is not-glaring or a decorative shade or mounting.

f) Decorative Building Materials, including the following:

- Decorative masonry, shingle brick or stone;
- Individualized patterns or continuous wood details such as fancy butt singles in a geometric pattern, decorative moldings, brackets, eave trim or lattice work, ceramic tile, stone, glass block, carrera glass, or similar materials.
- Other materials with decorative or textural qualities as approved by the City.

The applicant may be required to submit architectural drawings and material samples for approval.

g) Other similar features or treatment approved by the City.

All proposed methods for satisfying this guideline are subject to City approval.

E. Materials and Color

INTENT:

- To encourage the use of high-quality compatible materials that upgrade the visual qualities of downtown Yelm.
- To create design unity, a sense of place, and community identity.
- Support the historic integrity of the Historic Preservation Ordinance.

GUIDELINES:

IV.E.(1) Retain original facades.

Applicability:	Checked boxes indicate the districts that this guideline applies to.					
✓ Old T.	Village R.	Auto-O.	Gateway	Indust.	Mixed Use	

Use of metal siding, metal screening, plastic, plywood, sheet wood products or fiberglass to cover over original facades is discouraged. Wood should not be used to cover over original brick or cast stone masonry.

IV.E.(2) Use compatible building materials. (See Building Material Summary Matrix, Pg. 53.)

Applicability:	Checked boxes indicate the districts that this guideline applies to.					
✓ Old T.	✓ Village R.	✓ Auto-O.	✓ Gateway	Indust.	✓ Mixed Use	

a) Detail requirements for metal siding.

If metal siding is used as a siding material over more than 25% of a building's façade, the metal siding must have a matted finish in a neutral or earth tone such as buff, gray, beige, tan, cream, white or a dulled color such as rust-red, blue-gray, burgundy or ocher. If metal siding is used over 25% of the building façade, then the building design must include the following elements:

- Visible window and door trim painted or finished in a complimentary color.
- Corner and edge trim that cover exposed edges of the sheet metal panels.

b) Requirements for concrete block walls.

If concrete blocks (concrete masonry units or "cinder blocks") are used for walls that are visible from a public street or park, then the concrete block construction must be architecturally treated in one or more of the following ways:

- Use of textured blocks with surfaces such as split face or grooved.
 - Use of colored mortar.
 - Use of other masonry types such as brick, stucco, dryvit, glass block, field stone or tile in conjunction with concrete blocks.
- c) Requirements for pre-finished metal roofing.
- Metal roofing must be of high quality with standing seam and must not be brightly colored. Steel gray, dark green, barn red, gray-blue, and dark brown, for example, are acceptable, but bright yellow, pink, and lime green, for example are not.
- d) Requirements for architecturally finished vinyl or fiberglass.
- If material is used for a wall surface, finish must not possess sheen. For “Dryvit” and similar panels, see requirements for stucco surfaces below.
- e) Requirements for stucco surfaces.
- Stucco surfaces must be finished in an even workman-like manner and not feature heavy trowel marks or patterns. In the Old Town District, stucco must not be treated in a sculptural manner with curved surfaces or relief patterns. Stucco surfaces should be trimmed with wood, brick, or masonry or in a way that protects them from the weather. Panels with stucco-like surfaces, such as “Dryvit,” shall be installed as per manufacturer’s recommendations in a manner to treat and finish all exposed surfaces.
- f) Requirements for wood siding and wood product panels.
- Wood siding must be high quality, durable, exterior grade resistant to warping and splitting. All edges and seams must be covered or trimmed and protected from the weather. T-111 and untreated plywood siding are not acceptable as finish materials.
- g) Requirements for exposed concrete.
- All concrete surfaces visible from a public Right-Of-Way and within 25 feet of a Right-Of-Way shall be architecturally treated as approved by the City. Possible treatments include (subject to approval) sand blasted finish, exposed aggregate finish, stucco application, pattern, or texture.
- h) Requirements for glass block.
- Glass block is discouraged in the Old Town District.
- i) Requirements for architectural polymers and plastics.
- Do not use for exterior walls. May be used for signs (subject to Yelm Sign Ordinance).
- j) Requirements for back-lit vinyl or plastic (awnings and similar

elements).

Amount of illumination is limited to a single fluorescent tube the length of the awning or canopy (e.g., a 40-foot awning could employ five eight-foot single tube light fixtures).

- k) Prohibited materials – The following materials are prohibited in prominent locations visible from the frontage street.
- Mirrored glass.
 - Corrugated fiberglass.
 - Chain link fencing (except for temporary purposes such as a construction site).

IV.E.(3) In the Old District, applicants are encouraged to use colors from the following color list:

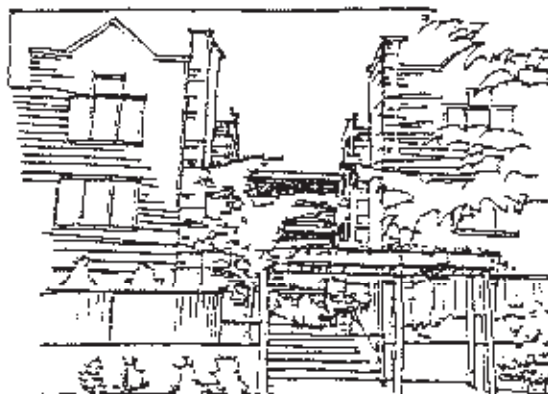
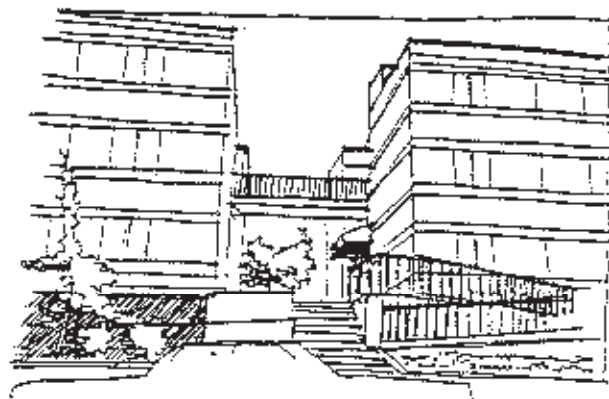
- a) Basic building shell should be earth tones, taupe, brown, red-brown, buff, gray, cream, white, natural wood, brick, or stone.
- b) Trim should be white, black, dark blue, dark green, dark teal, dark red, or other deep saturated colors.
- c) Bright accent colors should not cover more than 10% of any building façade.

Building Materials Standard Summary Matrix

- Acceptable
- Acceptable w/stated conditions
- * Not acceptable in Old Town

Exterior Finish Material	Roofs	Visible Facades	Trim & Misc. Bldg. Elements
Wood shingles/shakes	●	●	●
Asphalt shingles	●		
Pre-finished metal roofing w/standing seam	○		
Corrugated roofing/siding			
Corrugated fiberglass			
Terra cotta tile	●	●	●
Galvanized roofing			
Vinyl or fiberglass with architectural finish		○	●
Wood siding including oriented strand board		●	●
Brick, unglazed tile		●	●
Ceramic tile			●
Stucco		○	○
Concrete – precast/in place		○	○
T-111 and fiberboard			
Applied aggregate finishes (“marblecrete”)			
Mirrored or opaque glass			
Clear or lightly tinted glass	●	●	●
Glass block			○
Concrete block w/architectural finish *		○	○
Galvanized metal siding			
Architectural plastics and polymers, non back-lit			○
Sheet metal, painted or pre-finished *		○	○
Back-lit vinyl or plastic *			○
Built-up roofing or flat roof	●		
Natural copper, bronze	●	●	●
Sheet wood products and plywood		○	○

Figure IV.E.(1)a

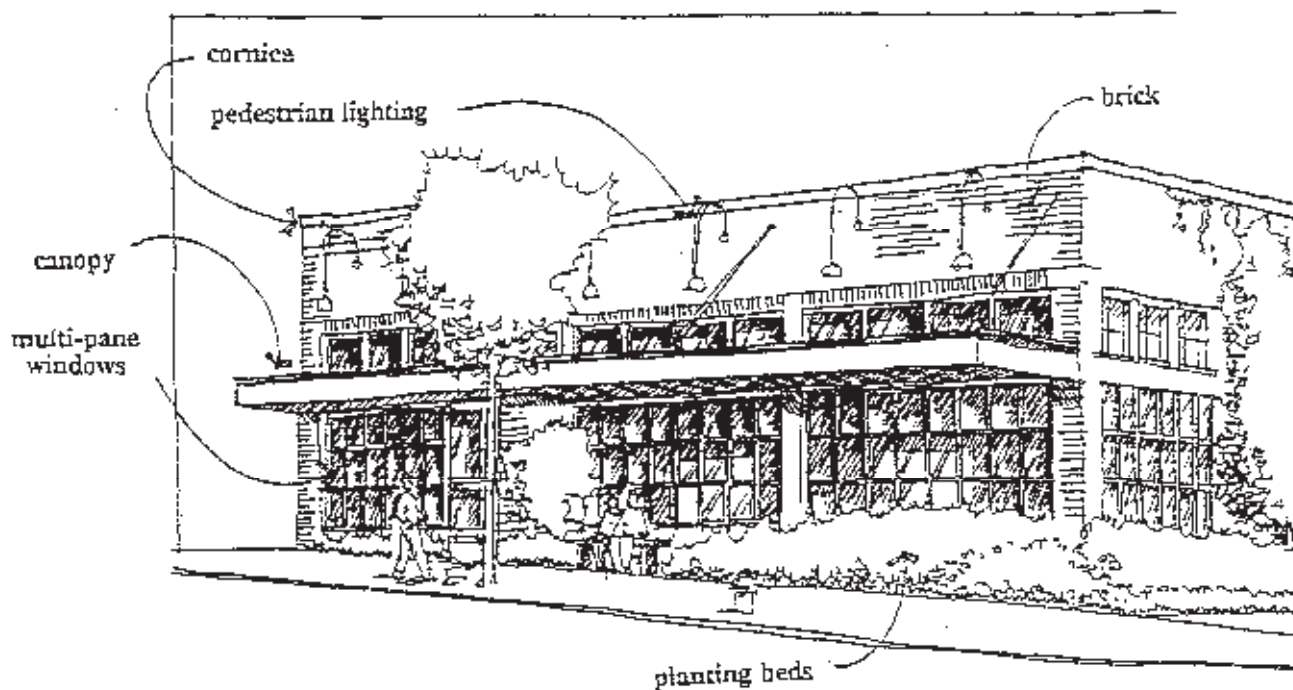


These two projects point out the importance of architectural elements. They are essentially the same building except that the project on the right employs roof lines, window details,

building articulation, a trellis, chimneys, entry, details and other features to add interest and a greater sense of quality.

Figure IV.E.(1)b

Examples of building that uses a variety of elements to satisfy guidelines in pedestrian-friendly facades, pedestrian areas at building entries, human scale, and building details



F. Blank Walls

INTENT:

- To reduce the visual impact of large, undifferentiated wall.
- To reduce the apparent size of large walls through the use of various architectural and landscaping treatments.

GUIDELINES:

IV.F.(1) All *blank walls* (as defined in Definitions) visible from the street, parking or adjacent lot shall be treated in one or more of the following ways:

Applicability:	Checked boxes indicate the districts that this guideline applies to.				
✓ Old T.	✓ Village R.	✓ Auto-O.	✓ Gateway	Indust.	✓ Mixed Use

- Installing a vertical trellis in front of the wall with climbing vines or plant materials.
- Providing a landscaped planting bed at least 5'-0" wide or raised planter bed at least 2'-0" high and 3' wide in front of the wall, and planting with plant materials that obscure or screen at least 35% of the wall's surface within 3 years.
- Other method as approved by the City.

All of the proposed methods are subject to City approval. Applicant must submit architectural plans and elevations showing proposed treatments for approval. The City may waive the requirement for blank wall treatment where the requirements conflict with the fire code regulations.

G. Mechanical Equipment and Service Areas

INTENT:

- Locate unsightly elements away from view.

GUIDELINES:

IV.G.(1) **Locate and/or screen roof-mounted mechanical equipment so as not to be visible from the street or from the ground-level of adjacent properties.**

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

The screening should be done so that it blends with the architecture of the building.

IV.G.(2) **Where practical, locate and/or screen utility meters, electrical conduit and other service and utilities apparatus so as not to be visible from the street.**

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

This is intended to include public utilities along the street, where feasible.

V. Landscaping and Design

A. Purpose

The purpose of this chapter is to preserve the aesthetic character of communities; to improve the aesthetic quality of the built environment; to promote retention and protection of existing vegetation; to reduce the impacts of development on drainage systems and natural habitats; and to increase privacy for residential zones by:

- a) Providing visual relief from large expanses of parking areas and reduction of perceived building scale;
- b) Providing physical separation between residential and non-residential areas;
- c) Providing visual screens and barriers as a transition between differing land uses;
- d) Retaining existing vegetation and significant trees by incorporating them into the site design; and
- e) Providing increased areas of permeable surfaces to allow for:
 - Infiltration of surface water into groundwater resources;
 - Reduction in the quantity of storm water discharge; and
 - Improvement in the quality of storm water discharge.

B. Landscaping – Types and Description

The five types of landscaping are described in Figures V.B.(1)-(7). Please refer to the Yelm Municipal Code, Chapter 17.80, Landscaping Requirements, for additional information and requirements on landscaping.

Figure V.B.(1)
Type I Landscaping

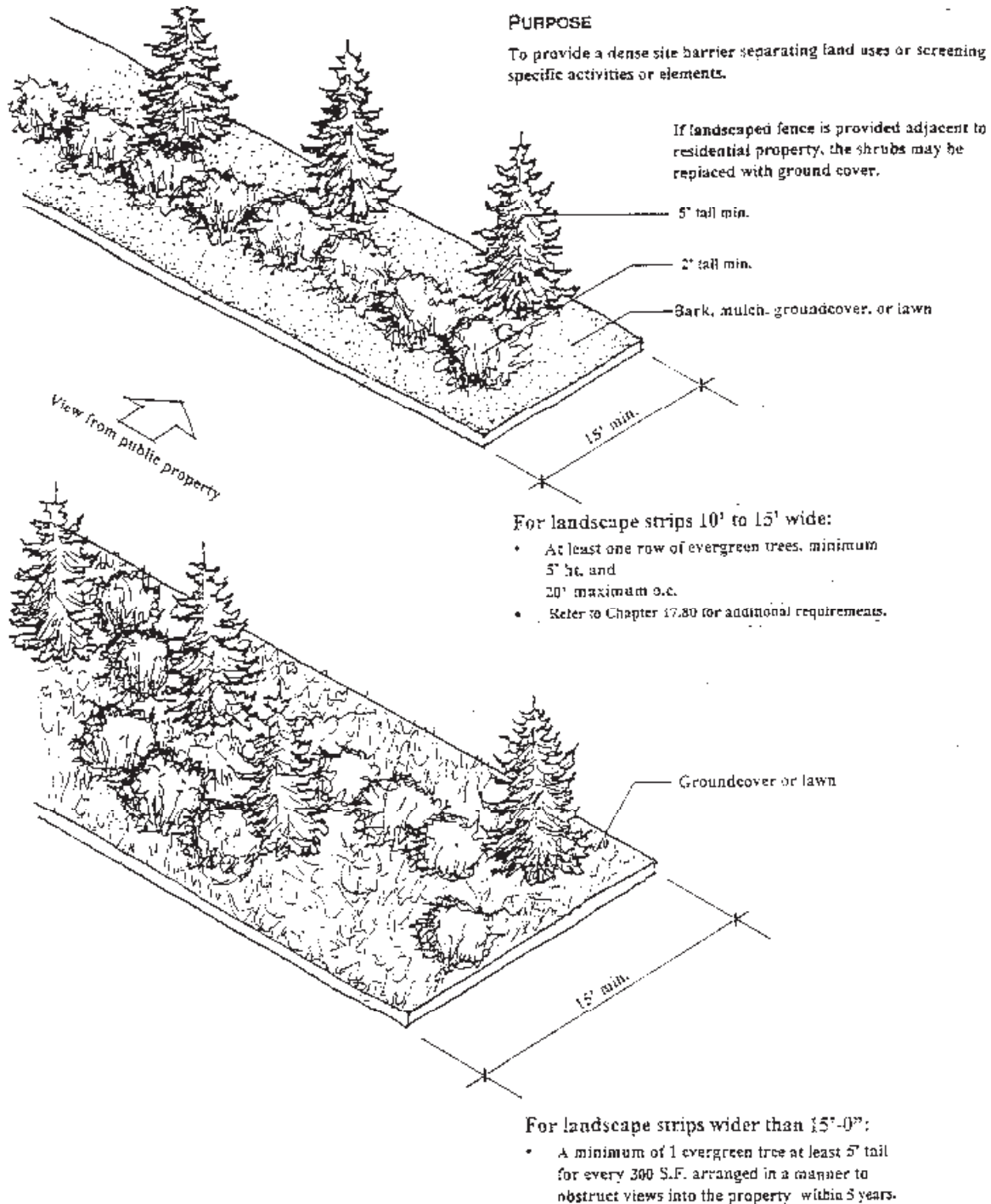


Figure V.B.(2)
Type II Landscaping

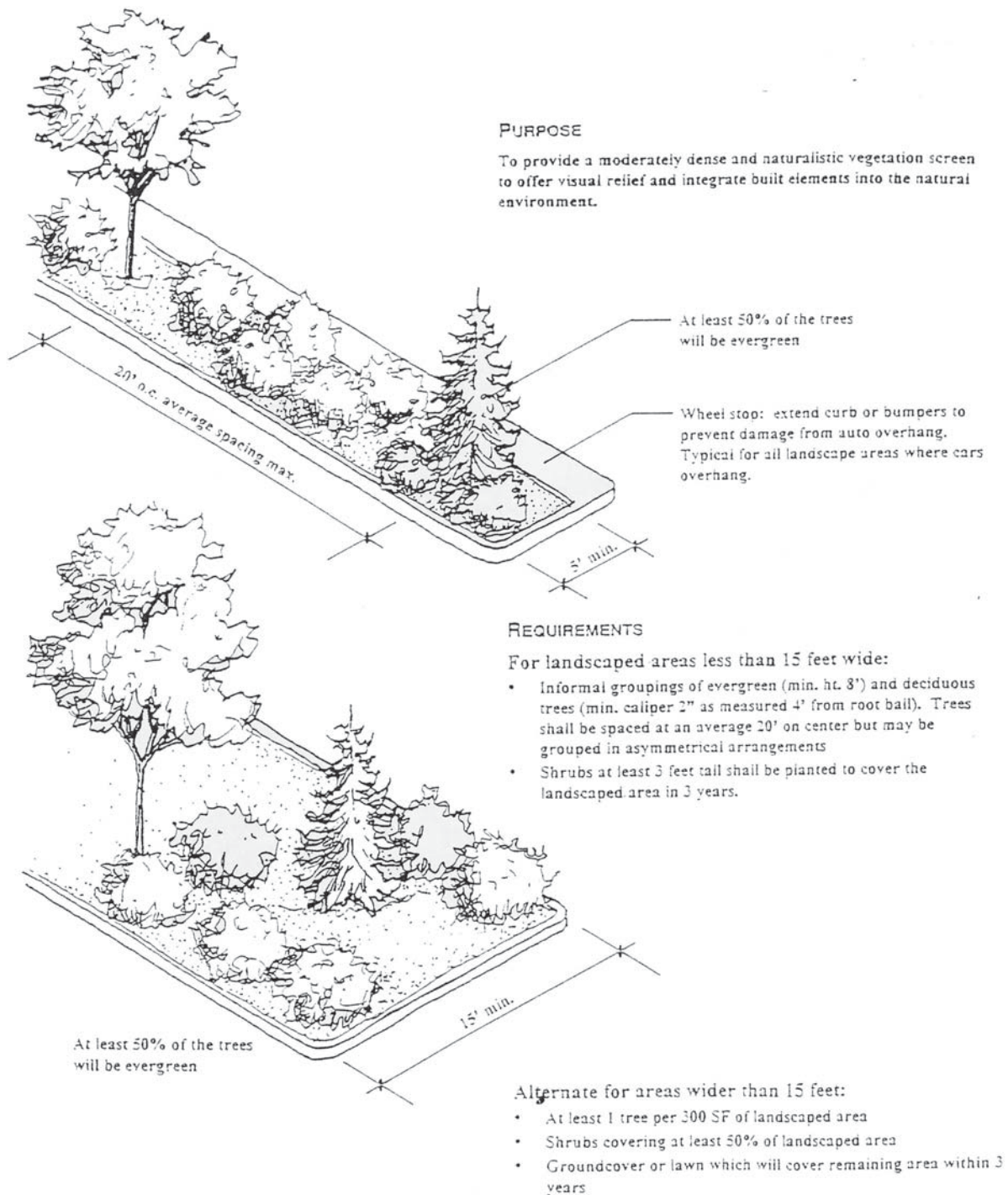


Figure V.B.(3)
Type III & IV Landscaping

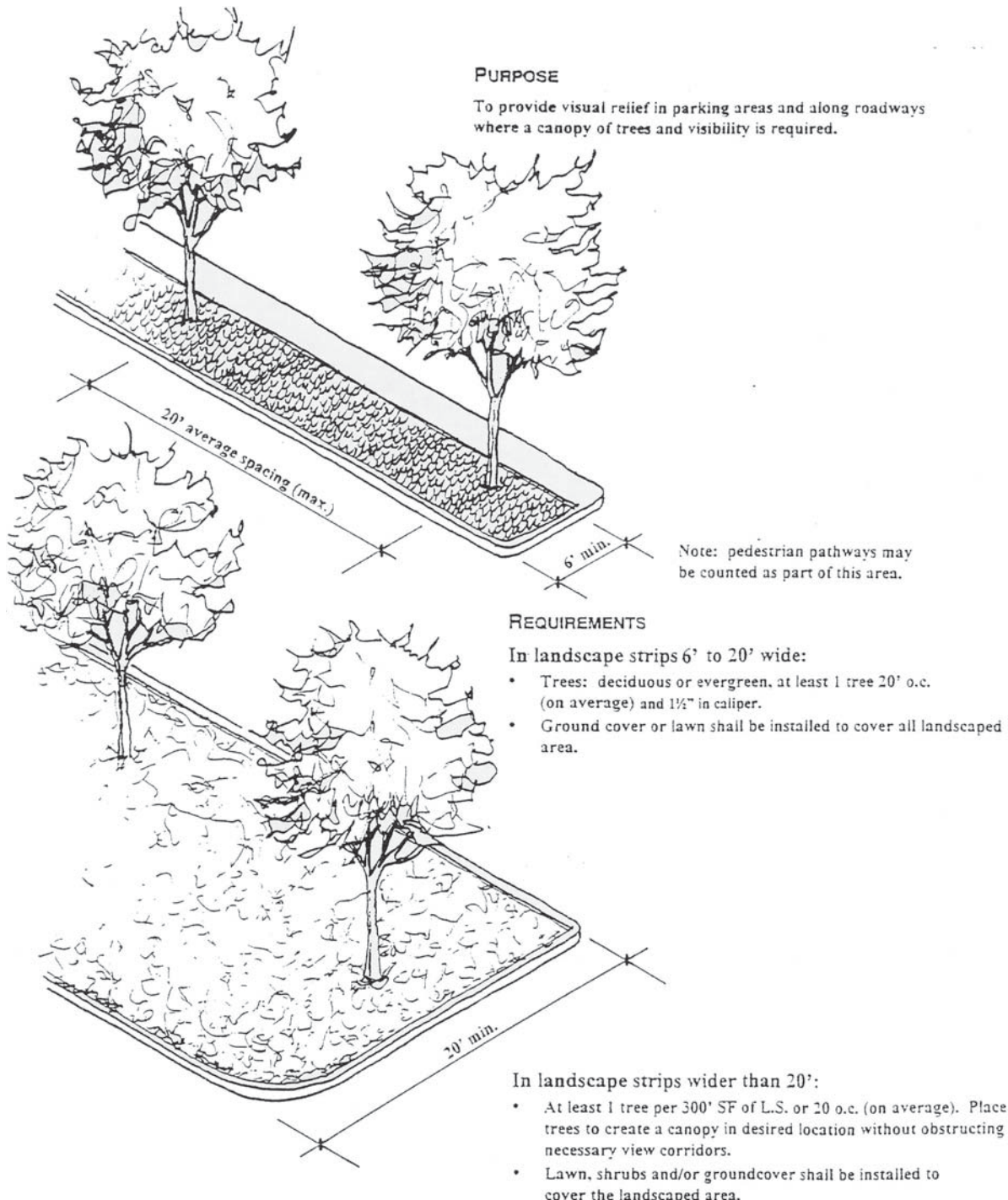
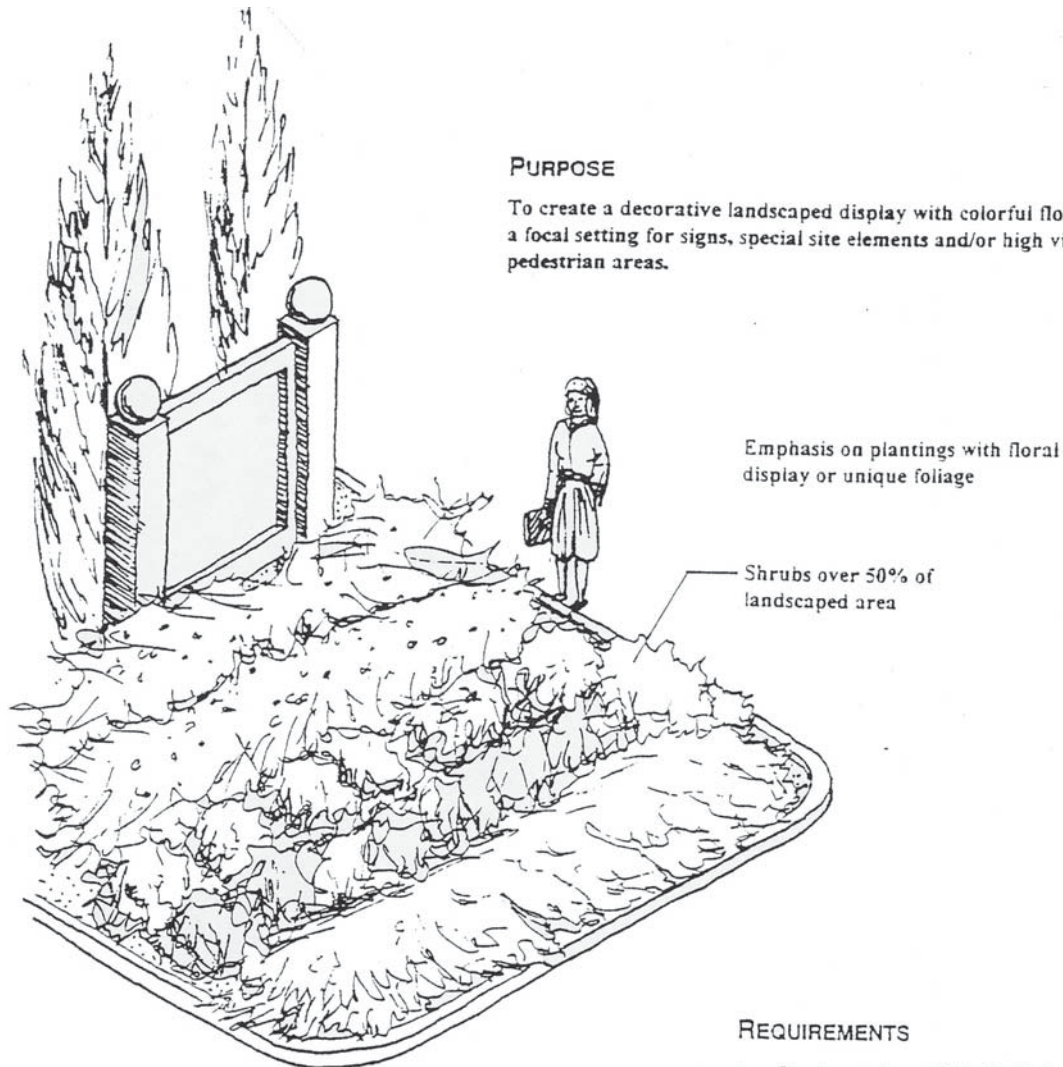


Figure V.B.(4)
Type VI - Landscaping



REQUIREMENTS

- Shrubs, at least 50% of which must exhibit decorative floral or foliage, shall cover at least 50% of the landscaped area. They shall be planted in a manner so that they will cover the ground in the area allotted to them within 3 years.
- The remaining 50% of the landscaped area may be planted with trees, shrubs, ground cover, or cultivated flower beds.

Figure V.B.(5) Type VII - Landscaping

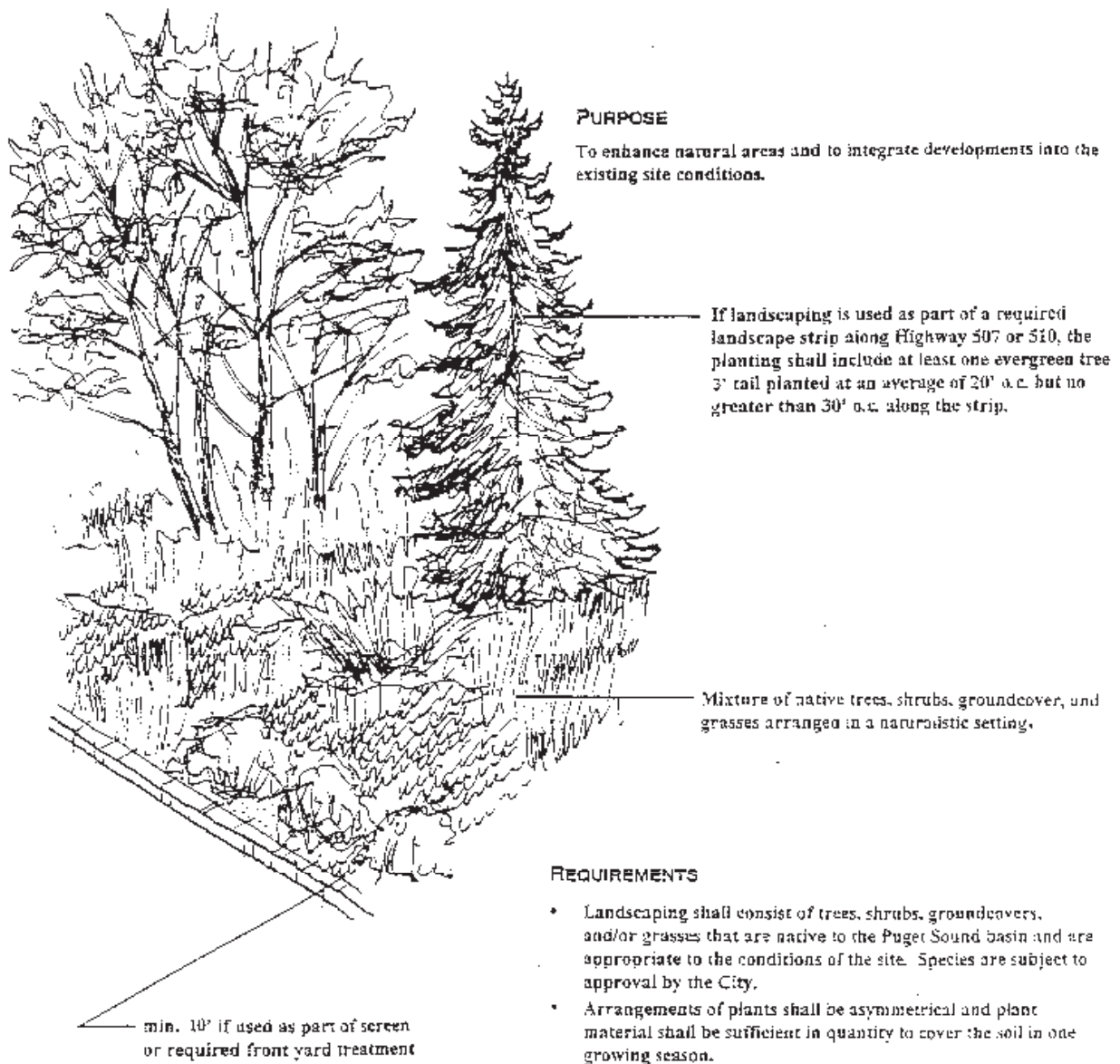
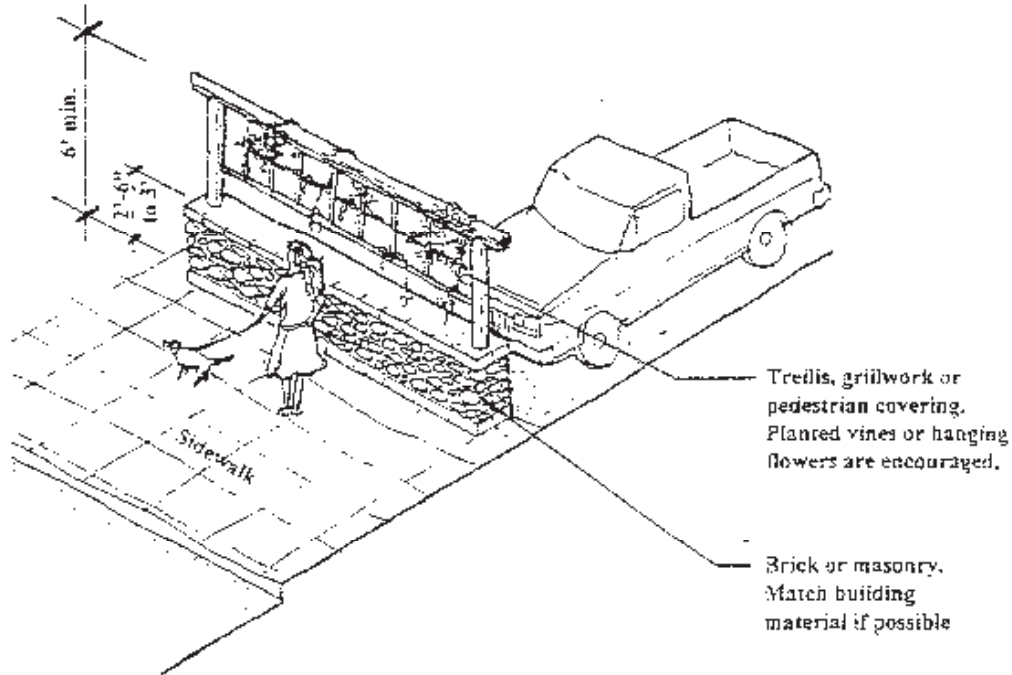


Figure V.B.(6)
Screen Wall Options

constructed for perimeter landscaping



Screen fence if required in conjunction
with other landscaping

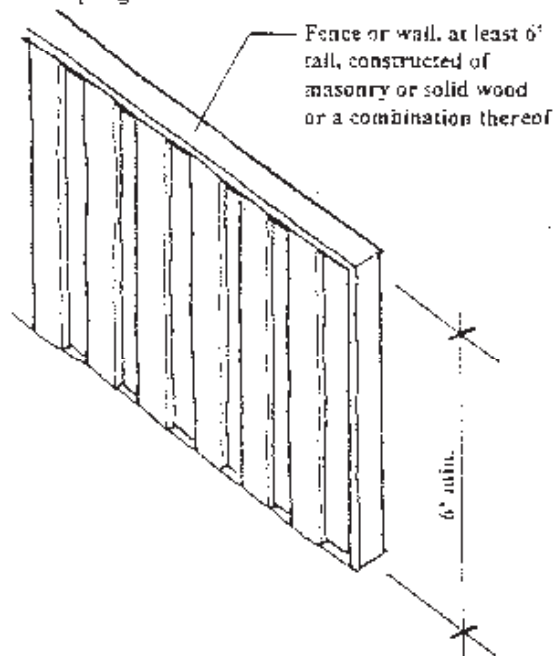
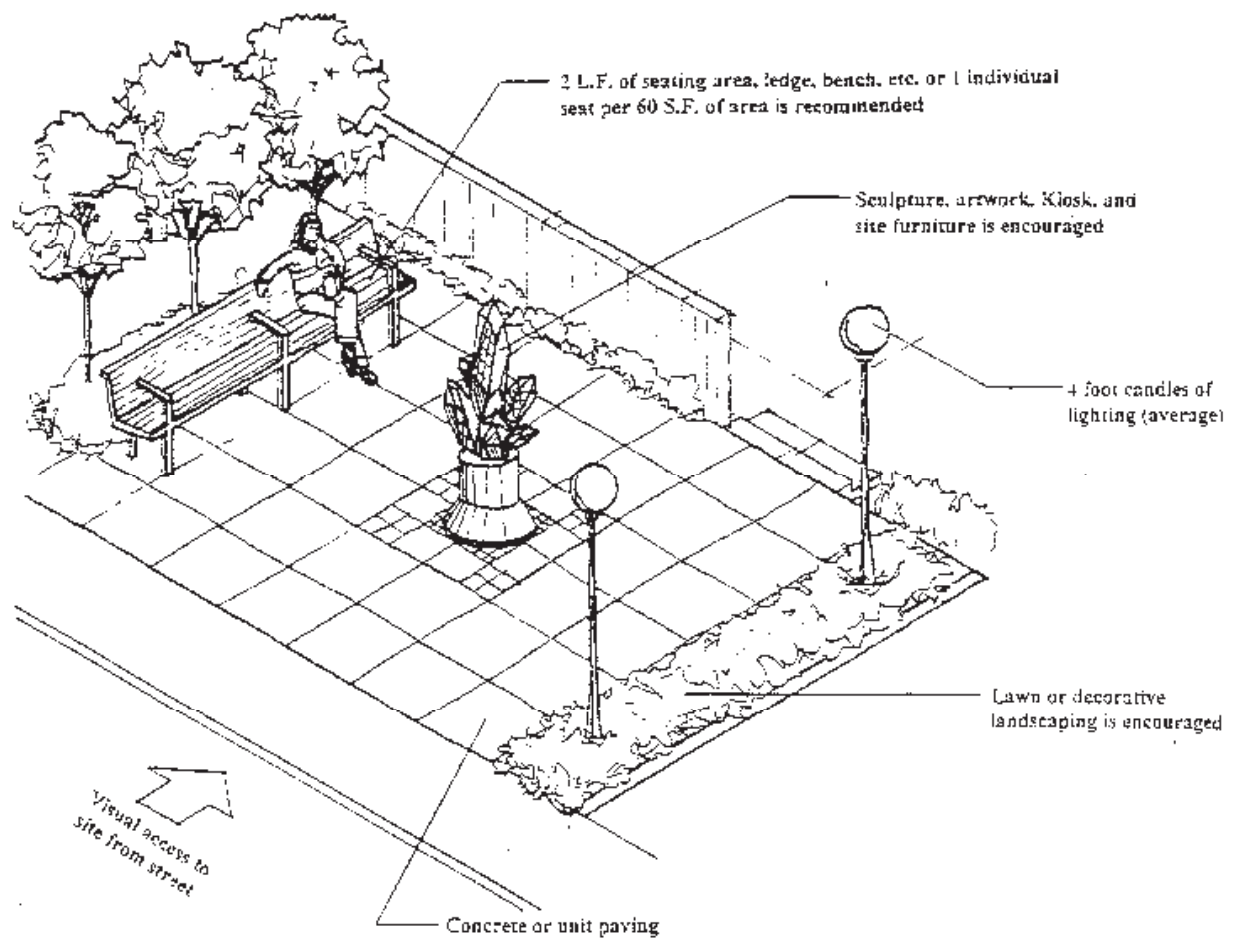


Figure V.B.(7)
Pedestrian oriented Space Options



Avoid:

- Unscreened adjacent parking
- Asphalt or gravel pavement
- Adjacent blank walls and chain link fences

C. Plant Material Standards

Landscape designs shall conform to the following provisions:

- a) New landscaping materials shall include species native to the coastal region of the Pacific Northwest or non-invasive naturalized species that have adapted to the climatic conditions of the coastal region of the Pacific Northwest in the following amounts:
 - Seventy-five percent of groundcover and shrubs, and
 - Fifty percent of trees.
- b) At least 60 percent of new landscaping materials shall consist of drought-tolerant species, except where site conditions within the required landscape areas assure adequate moisture for growth;
- c) Existing vegetation may be used to augment new plantings to meet the standards of this chapter;
- d) Broadleaf trees shall have a caliper of at least 1.5 inches at the time of planting;
- e) Evergreen trees shall be at least three feet in height measured from treetop to the ground at the time of planting;
- f) When the width of any landscape strip is 20 feet or greater, the required trees shall be staggered in two or more rows;
- g) Shrubs shall be:
 - Two-gallon size at time of planting landscaping and,
 - At least 24 inches in height at the time of planting.
- h) Ground covers shall be planted and spaced to result in total coverage of the required landscape area within five years as follows:
 - Four-inch pots at 18 inches on center, or
 - One-gallon or greater sized containers at 24-inches on center.
- i) Grass may be used as ground cover in landscape areas;
- j) All fences shall be placed on the inward side of any required perimeter landscaping;
- k) Berms shall not exceed a slope of two horizontal feet to one vertical foot (2:1);
- l) Required street landscaping may be placed within City of Yelm street rights-of-way subject to the City's street design standards with the permission of the City of Yelm Department of Public Works, provided adequate space is maintained along the street line onsite to replace the required landscaping should subsequent street improvements require the removal of landscaping within the rights-of-way.

D. Irrigation System

Except for areas of undisturbed existing vegetation or low areas with existing high soil moisture conditions, landscape areas shall have irrigation systems or be within 75' of a hose spigot, pursuant to Chapter 17.80 of the Yelm Municipal Code.

E. Maintenance and Enforcement

All landscape areas required by these guidelines shall be maintained in accordance with the following standards:

- a) A maintenance assurance device shall be required by the City to ensure that landscaping will be installed and maintained for one year, according to the approved plans and specifications.
- b) All landscaping shall be maintained with respect to pruning, trimming, mowing, watering, insect control, fertilizing, or other requirements to create a healthy growing condition, attractive appearance and to maintain the purpose of the landscape type.
- c) Dead, diseased, stolen, vandalized or damaged plants shall be replaced within the next planting season, with the plants indicated on the approved landscape plan.
- d) All landscaped areas shall be maintained reasonably free of weeds and trash.
- e) All required landscaping, which is located within public right-of-way, shall be maintained by the abutting property owner.

F. Approved Plant List

INTENT:

- To encourage the use of hardy, attractive and easily maintained plant material.
- To provide visual continuity by using plant materials from a specified plant list of a limited number of varieties and species.
- To encourage the use of trees and shrubs as an important unifying element within the business district to strengthen the image and continuity of the streetscape. For this

reason, the plant material selection list has been purposely restrained to a few species.

GUIDELINES:

V.F.(1) **The following is a list of plant materials that are approved for use in downtown Yelm. Proponents may use other plant materials approved by the City.**

Applicability:	Checked boxes indicate the districts that this guideline applies to.
✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use	

STREET TREES

Deciduous Trees

Red Maple (Bowhall)	<i>Acer rubrum</i> "Bowhall"
Red Maple (Pacific Sunset)	<i>Acer rubrum</i> "Pacific Sunset"
Red Maple (Autumn Blaze)	<i>Acer rubrum</i> "Autumn Blaze"
Sweetgum	<i>Liquidambar styraciflua</i>
Flowering Pear	<i>Pyrus calleryana</i> "aristocrat"
Chancellor Linden	- <i>cordata</i> "Chancellor"
Redspire Pear	<i>Pyrus calleryana</i> "Redspire"

Evergreen Trees

Washington Hawthorn	<i>Crataegus phaenopyrum</i>
Hawthorn (Paul's Scarlet)	<i>Crataegus laevigata</i> "Paul's Scarlet"
Portugal Laurel	<i>Prunus lausitanica</i>
Shore Pine	<i>Pinus contorta</i>

STREET FRONTAGE

Evergreen Shrubs (2-4 feet in height)

Darwin Barberry	<i>Berberis darwinii</i>
Winged Eonymus	<i>Eunonymus alata</i> "compacta"
Oregon Grape	<i>Mahonia aquafolium</i> "compacta"
Otto Luyken Laurel	<i>Prunus i. Otto Luykens</i>
Japanese Holly "Convexa"	<i>Illex crenata</i> "Convexa"
Larusfinus "Spring Bouquet"	<i>Viburnum tinus</i> "Spring Bouquet"
Evergreen Eonymus "Sarcoxie"	<i>Enonymus fortunei radicans</i> "Sarcoxie"

GROUND COVER

Lawn

Kinnikinnik	<i>Arctostaphylos uva-ursi</i>
Cotoneaster Lowfast	<i>Cotoneaster</i> "Lowfast"
Common Winter Creeper	<i>Euonymus fortunei radicans</i>
Creeping Mahonia	<i>Mahonia repens</i>

G. Landscape Concept

INTENT:

- To define plant species which are of low maintenance, resistant to drought and otherwise appropriate for conditions within the business district.

GUIDELINES:

V.G.(1) Develop a site landscape design concept.

Applicability:	Checked boxes indicate the districts that this guideline applies to.
✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway Indust. ✓ Mixed Use	

The landscaping concept should be suitable and fitting with the character of Yelm as a community bordering rural and agricultural areas. Existing substantive vegetation and native materials in informal plantings and arrangements should be considered in the concept.

More structured or formal landscaping may be allowed where it is necessary to control planting due to limited space.

At a minimum, the landscape concept should include the following elements:

- a) A unified pedestrian circulation system with amenities and plantings.
- b) A coordinated system of open spaces and/or planted areas that provide the required pedestrian areas. The plan should indicate how the various spaces and plantings relate to achieve the project's site design objectives of continuity, variety, activity, etc.
- c) Plantings and/or site features that enhance the buildings' architectural qualities.

In addition, the concept should consider the following landscape design objectives where appropriate:

- a) Where feasible, coordinate selection of plant material to provide a succession of blooms, seasonal color and a variety of texture.
- b) Provide a transition in landscaping design between adjacent sites, within a site and from native vegetation areas in order to achieve greater continuity.
- c) Design landscaping to create definition between public and private (residential) spaces.
- d) Design landscaping to provide a transition between built structures (vertical planes) and the site (horizontal planes).
- e) Use plantings to highlight significant site features and to define the function of the site, including parking, circulation, entries and open space.

- f) Use plantings that reflect prairie landscape of the surrounding region. (For example: prairie grasses and wildflowers may be appropriate in open areas.)

H. Site Landscaping

V.H.(1) Provide substantial site landscaping.

Applicability: Checked boxes indicate the districts that this guideline applies to. <input checked="" type="checkbox"/> Old T. <input checked="" type="checkbox"/> Village R. <input checked="" type="checkbox"/> Auto-O. <input checked="" type="checkbox"/> Gateway <input checked="" type="checkbox"/> Indust. <input checked="" type="checkbox"/> Mixed Use

Keep pavement for vehicle movement and storage to a minimum. Unpaved areas in commercial development shall be landscaped in one of the following ways, as approved by the City:

- a) Retention of natural vegetation on site.
- b) Groomed lawn.
- c) Wildflowers or prairie grass.
- d) Cultivated trees, shrubs, and ground cover as indicated in Figure V.H.(1)a.

Buffering, screening and provision of required landscaping must be in accordance with Figure V.H.(1)a unless otherwise exempted or the City approves an alternative landscaping concept.

Figure V.H.(1) a

Alternative landscaping types for various conditions and districts

	Allowable Landscape Types		
	Old Town Village Retail	Mixed Use Gateway Auto-Oriented	Industrial
Front Yard Area			
Front yard parking/sidewalk edge	I, II or VI	I, II, V or VI	I, II, V or VI
Open display area/sidewalk edge	N/A	I, II, V or VI	I, II, V or VI
Outdoor storage/sidewalk edge	N/A	I or V	I, II (with screening) or V
Interior parking lot landscaping	I, II, III or V	I, II, III or V	None required
Between building and street front	III, IV or VII	I, II, III, IV, V or VII	I, II, III, IV, V or VII
Special focus area	IV or VII	IV, V or VII	IV, V or VII
Sideyard and Rearyard			
Between commercial, industrial and residential zoned land	I or II (with screen fence)	I, II (with screen fence) or V	I, II (with screen fence) or V
Between outdoor storage/display and any other use	I or II (with screen fence)	I, II (with screen fence) or V	I, II (with screen fence) or V
Between parking and any other use except parking with through access	I or II (with screen fence)	I, II or V	None required if adjacent zoning is industrial

V.H.(2) Protect and enhance natural features.

Applicability:	Checked boxes indicate the districts that this guideline applies to.					
Old T.	Village R.	✓ Auto-O.	✓ Gateway	✓ Indust.	✓ Mixed Use	

To encourage the following features, the City may allow their incorporation into the landscape plan as a substitute for other provisions, or as development incentives:

- a) Stream rehabilitation and continuous improvement of water quality and fish habitat should be promoted.
- b) A path or footbridges along a creek.
- c) Public access to water's edge.
- d) Planting of indigenous trees, shrubs and grasses.

I. Parking Lot Landscaping

INTENT:

- A program to develop a positive image for the district must include an attractive appearance.
- To reduce the summertime heat and glare build-up within and adjacent to parking lots.
- To improve the views of parking areas for shoppers and area residents.
- To provide landscaped areas within parking areas in addition to landscape buffers around the perimeters of parking lots.

GUIDELINES:

V.I.(1) All parking areas shall be landscaped in accordance with Chapter 17.80 of the Yelm Municipal Code.

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

V.I.(2) An alternative to the required Perimeter Parking Area landscaping plan may be substituted.

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

The alternative landscaping proposal may provide a better solution in terms of public benefit for one or more of the following items:

- a) Integrates interior surface parking area landscaping with required biofiltration swales, surface water retention ponds.
- b) Incorporates or protects natural features including wetlands, significant trees and vegetation, and slopes.
- c) Preserves distant views.
- d) Provides significant pedestrian oriented spaces such as a “pocket park” or amphitheater in excess of what is required under the Code.
- e) Creates and extension or connection to a local park or a regional bicycle/pedestrian trail system.

V.I.(3) Provide internal parking lot landscaping.

Applicability:	Checked boxes indicate the districts that this guideline applies to.				
✓ Old T.	✓ Village R.	✓ Auto-O.	✓ Gateway	Indust.	✓ Mixed Use

All parking lots shall conform to the following standards:

- a) Provide at least the minimum amount of landscaped area according to the following chart for each parking space.

Total Number of Parking Spaces	Required Landscape Area
15 to 50	15 square feet/parking space
51 to 99	20 square feet/parking space
100 or more	25 square feet/parking space

Shrubs and ground cover shall be provided in the required landscape areas. Shrubs shall be planted at a density of 5 per 100 square feet of landscape area. Up to fifty (50) percent of shrubs may be deciduous. Ground cover shall be selected and planted so as to provide ninety (90) percent coverage within three years of planting.

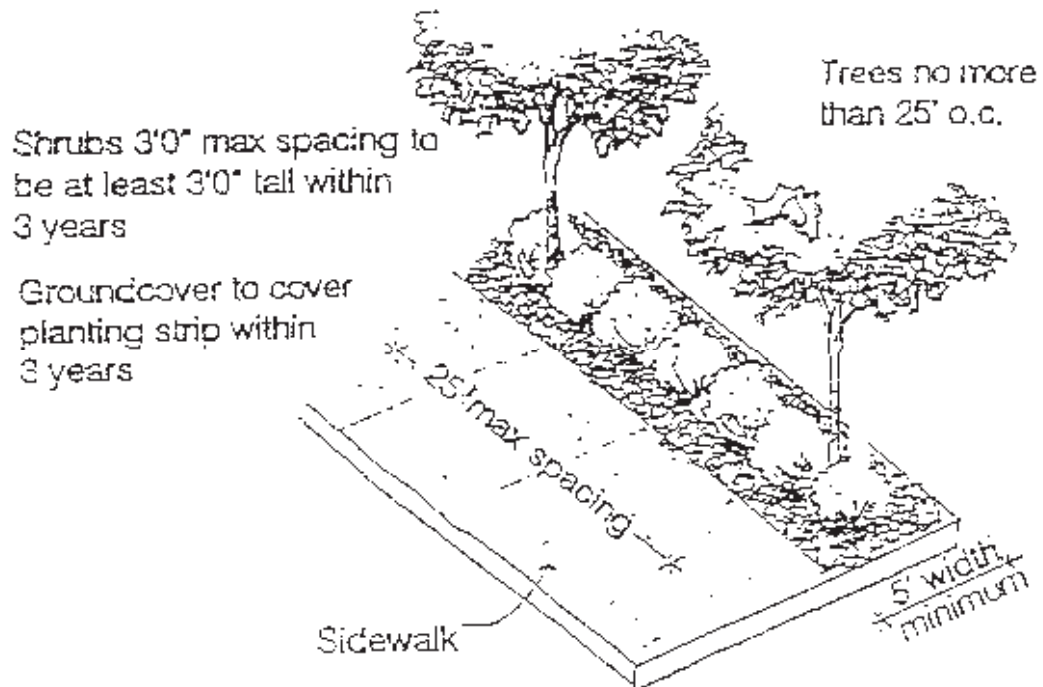
- b) No parking stall shall be located more than fifty (50) feet from a tree.
- c) Provide at least one tree for every 5 parking spaces. The trees required for parking lot landscaping shall consist of a minimum of 40% evergreen and may not be considered as street trees.

Exceptions:

- The applicant may propose alternative parking lot landscaping schemes. See Figure V.H.(1)a for some other options.

Figure V.I.(3)a

Hedge and trees option for perimeter parking lot landscaping



V.I.(4) Screen perimeter parking lot landscaping adjacent to neighboring properties.

Applicability: Checked boxes indicate the districts that this guideline applies to.

✓ Old T.	✓ Village R.	✓ Auto-O.	✓ Gateway	Indust.	✓ Mixed Use
----------	--------------	-----------	-----------	---------	-------------

Parking lots over 14 stalls and within 10' of adjacent property lines shall be screened from the adjacent properties by one of the methods described in chart V.H.(1)a.

The City may waive the above requirement if the adjacent property includes a parking lot which is connected by a vehicle access lane so that the two parking lots can share vehicle circulation routes. Perimeter screening of parking lots in industrial zoned properties shall be required when adjacent to residential zoned properties.

J. Retention of Significant Trees

INTENT:

- To retain substantial natural vegetation.
- To preserve and protect stands of mature trees.
- To aid in the stabilization of soil by preventing erosion.
- To reduce storm water run-off and costs associated with it.
- To provide an important visual buffer and screen against traffic and noise.
- To conserve and enhance the unique character of the area and protect and increase property values.
- To provide natural settings for paths connecting residential districts with the commercial environment and transit within the CBD.

GUIDELINES:

V.J.(1) Consider alternative building and parking siting strategies to preserve existing trees.

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

The City will review site plans and may require modifications in order to save stands of significant trees.

V.J.(2) Consider the integration of pedestrian and bicycle paths with stands of mature trees where feasible to connect adjacent uses.

Applicability: Checked boxes indicate the districts that this guideline applies to. ✓ Old T. ✓ Village R. ✓ Auto-O. ✓ Gateway ✓ Indust. ✓ Mixed Use

Appendix A – Definitions:

Art and Artwork – A device, element or feature whose primary purpose is to express, enhance or illustrate an aesthetic quality, feeling, physical entity, idea, local condition, historical or mythical happening of cultural or social value. Examples of artwork include sculpture, bas-relief sculpture, mural, or unique specially crafted lighting, furniture, pavement, landscaping or architectural treatment that is intended primarily, but not necessarily exclusively, for aesthetic purpose.

Balcony – A balcony is an outdoor space built as an above-ground platform projecting from the wall of a building and enclosed by a parapet or railing.

Bay Window – A bay window protrudes from the main exterior wall. Typically, the bay contains a surface which lies parallel to the exterior wall, and two surfaces which extend perpendicularly or diagonally out from the exterior wall. To qualify as a bay, the bay must contain a window pane which extends at least 60 percent of the length and 35 percent of the height of the surface of the bay which lies parallel to the exterior wall. There need not be windows in the surfaces which extend out from the exterior wall.

Blank Walls – Walls subject to “blank wall” requirements meet the following criteria:

- Any wall or portion of a wall that has a surface area of 400 SF of vertical surface without a window, door, building modulation as defined below or other architectural feature (see figure below for measuring methods).

Courtyard – A courtyard is a landscaped space enclosed on at least three sides by a single structure.

Curb Cut – A curb cut is a depression in the curb for the purpose of accommodating a driveway that provides vehicular access between private property and the street.

Deck – A deck is a roofless outdoor space built as an above-ground platform projecting from the wall of a building and connected to the ground by structural supports.

Façade – A façade is any portion of an exterior elevation of a building extending from the grade of the building to the top of the parapet wall or eaves, for the entire width of the building elevation.

Frontage – As used in the Code, frontage refers to length of a property line along a public street or Right-of-Way.

Front Yard – Area between the street Right-Of-Way and the nearest building façade.

Landscaping – An area is considered to be landscaped if it is:

- Planted with vegetation in the form of hardy trees, shrubs or grass or evergreen ground cover maintained in good condition; or
- Occupied by sculpture, fountains or pools, benches or other outdoor furnishings; or

- Occupied by such recreational facilities as playground equipment, swimming pools, game courts, etc.

Major Exterior Remodel – A proposed improvement to any existing building structure or property that changes the exterior appearance of the property and which meets either of the criteria below:

Estimated value of construction exceeds 60 percent of the value of the existing built facilities as determined by the City of Yelm’s building valuation procedure.

Construction includes an addition to or extension of an existing building.

Minor Exterior Remodel – Any improvement that changes the visual appearance or exterior configuration of a building structure or property, and which has a value less than 60 percent of the existing built facilities as determined by the City of Yelm’s building valuation procedure. Painting and restorative maintenance are not considered *minor remodels*.

Modulation – In the design guidelines, modulation is a stepping back or projecting forward of portions of a building face within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure’s continuous exterior walls.

Pedestrian Friendly Building Facades – The ground floor façades facing *pedestrian oriented streets* and public parks shall feature “pedestrian friendly” street-front facades which consist of one or more of the following characteristics:

1. Transparent window area or window displays along the majority of the ground floor façade.
2. Sculptural, mosaic or bas-relief artwork over the majority of the ground floor façade.
3. “*Pedestrian oriented Space*” – As defined below, at least 500 SF must be located along the sidewalk for every 100 linear feet of façade as measured along the property line adjacent to the street Right-Of-Way. The pedestrian oriented space shall also include at least 200 SF of landscaping for every 100 linear feet of building façade as measured along the property line adjacent to the street Right-Of-Way. The landscaping must conform to the planting standards contained in the City Code.

Pedestrian oriented Space – A pedestrian oriented space is an area between a building and a public street which promotes visual and pedestrian access onto the site and which provides pedestrian oriented amenities and landscaping to enhance the public’s use of the space for passive activities such as resting, reading, picnicking, etc. To qualify as a “pedestrian oriented space,” an area must have:

Visual and pedestrian access (including handicapped access) into the site from the public right-of-way.

Paved walking surfaces of either concrete or approved unit paving.

On-site or building-mounted lighting providing at least 4 foot candles (avg.) on the ground.

Seating: at least 2' of seating area (bench, ledge, etc.) or one individual seat per 60 SF of plaza area or open space.

A “*pedestrian oriented space*” is encouraged to have:

Landscaping that does not act as a visual barrier.

Site furniture, artwork or amenities such as fountains, kiosks, etc.

A “*pedestrian oriented space*” shall not have:

Asphalt or gravel pavement.

Adjacent unscreened parking lots.

Adjacent chain-link fences.

Adjacent “*blank walls*” without “*blank wall treatment*.”

Pedestrian oriented Streets consist of:

Yelm Avenue between Solberg W. and 4th Street E.

First Street between Mosman Avenue SE and Jefferson Avenue N.E.

Second Street S.E. from Washington Avenue S.E. and Yelm Avenue E.

Third Street S.E. from Washington Avenue S.E. and Yelm Avenue E.

All public streets within 1,000 feet of the intersection of Yelm Avenue W. and Killion Road N.W.

Pedestrian oriented Use (or Business) – A pedestrian oriented business is a commercial enterprise whose customers commonly arrive to the business by foot, or whose signage, advertising, window display and entry ways are oriented toward pedestrian traffic. Pedestrian oriented businesses may include restaurants, retail shops, personal service businesses, travel services, banks (except drive-through windows), and similar establishments.

Scale, Human – The perceived size of a building relative to a human being. A building is considered to have “good human scale” if there is an expression of human activity or use that indicates the building’s size. For example, traditionally sized doors, windows, and balconies are elements that respond to the size of the human body, so these elements in a building indicate a building’s overall size.

Scale, Architectural – The perceived relative height and bulk of a building relative to that of neighboring buildings. A building’s apparent height and bulk may be reduced by modulating facades.

Streetscape – The streetscape is the visual character of a street as determined by various elements such as structures, greenery, open space, view, etc.

Structured Parking – Parking spaces which are housed within a structure or below grade or covered.

